

GREENWAY PARK PHASE I
SITE PLAN AGREEMENT

THIS AGREEMENT made and entered into this 6th day of August, 2009, by and between the City of Casper, Wyoming, a Wyoming Municipal Corporation, 200 North David Street, Casper, Wyoming, 82601, hereinafter designated as "City," and Haystack Properties, LLC, 13394 East Control Tower Road, Englewood, CO 80112, hereinafter designated as "Owner."

WHEREAS, Owner has applied for site plan approval for construction of Phase I Greenway Park Addition, a 208 unit apartment complex and related accessory buildings, comprising 14.1-acres, more or less, and located on Tract G, Greenway Park II; and,

WHEREAS, pursuant to the terms of the Greenway Park PUD (Planned Unit Development) Site Plan Agreement between the City of Casper and Haystack Properties, LLC, dated February 2, 2008, the Owner is required to submit a site plan prior to the construction of any phase of the subdivision, which requires the approval of the Community Development Director; and,

WHEREAS, a copy of said site plan, Sheets 1-7, all dated February 20, 2009 and revised on April 14, 2009, are attached hereto as Exhibit "A," and are incorporated herein at this point as if fully set forth; and,

WHEREAS, a copy of elevations, Sheets A4.1-AT, BA, BB, BT, C, R, and A4.2-R, all dated June 19, 2008 and revised August 11, 2008, are attached hereto as Exhibit "B," and are incorporated herein at this point as if fully set forth;

WHEREAS, a copy of the landscaping plan, Sheets L1, L2 and L3, all dated April 29, 2009, are attached hereto as Exhibit "C," and are incorporated herein at this point as if fully set forth:

NOW, THEREFORE, the parties hereto agree as follows:

I. EXPLICIT CONDITIONS:

- A. The Owner shall construct the proposed pedestrian trail running parallel to South Missouri Street, along the east side of Sage Creek, from the north property line to the south property line of Greenway Park II, concurrent with Phase II of the development. Once said trail is constructed, the City may relieve the Owner from its obligation to construct sidewalk along South Missouri Avenue if adequate pedestrian connections to South Missouri Avenue are provided and the pedestrian trail serves the same intended purpose. The City's final determination regarding the sidewalk along South Missouri Avenue will occur during site plan approval of Phase II.



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CITY OF CASPER

- B. Pursuant to both the Greenway Park PUD (Planned Unit Development) Site Plan Agreement, dated February 2, 2008 and the Greenway Park Addition Subdivision Agreement dated August 19, 2008, the Owner shall construct East 21st Street to the east boundary of Greenway Park II Addition concurrent with Phase I of the development. East 21st Street shall be constructed according to standard City specifications as a collector street, and construction shall include paving, detached sidewalks, curb, gutter, public utility extensions (stub-outs) and stormwater improvements. The City shall reimburse the Owner 50% of the costs to build East 21st Street, at such time as invoices are submitted by Owner to the City, in a total amount up to 80% of the City's total obligation. The remaining 20% of the City's obligation shall be withheld by the City until either the 18-month warranty period has elapsed and the improvements have been accepted by the City, or until such time as an 18-month warranty bond is provided to the City by Owner, pursuant to the requirements of the Casper Municipal Code. Pursuant to the Greenway Park PUD (Planned Unit Development) Site Plan Agreement, dated February 2, 2008, the City's portion of said costs shall not exceed fifty percent (50%) of the estimated 2008 cost to construct said street. According to a January 30, 2008 cost estimate prepared by the City Engineer, the cost to construct East 21st Street was estimated to be \$548 per lineal foot. The approximate length of 21st Street that will be constructed is 1,810 lineal feet; therefore, the City's 50% proportionate share of the cost of East 21st Street shall not exceed \$495,940 ($\$548 \times 1810 \text{ lineal feet} = \$991,880/2$).
- C. Prior to the issuance of a Permit to Construct public improvements, the Owner shall submit a revised or updated sanitary sewer study to the City Engineer for review and approval.
- D. The Owner shall construct a secondary access, meeting standard City and Emergency Services Department minimum specifications, for Phase I, located in the southwest corner of the development, accessing East 21st Street.
- E. Prior to the issuance of a Permit to Construct public improvements, the Owner shall provide the City with recorded "public access easements" in a form acceptable to the City, for all internal drives in Phase I.
- F. Prior to the issuance of a Permit to Construct public improvements, the Owner shall provide a revised garbage collection plan to the City Engineer for review and approval.

- G. Prior to the issuance of a Permit to Construct public improvements, the Owner shall provide all necessary utility (water and/or sewer) easements to the City, in a form acceptable to the City.
- H. Prior to the issuance of a Permit to Construct public improvements, the Owner shall submit a revised or updated storm drainage study to the City Engineer for review and approval.
- I. Prior to the issuance of a Permit to Construct public improvements, Owner shall provide the City with written clearance from the U.S. Army Corp of Engineers (USACOE) for any wetland impacts that may occur due to the Phase I development.
- J. Prior to the issuance of a Permit to Construct public improvements, the Owner shall submit to the City a "Floodplain Development Permit Application" and all related documents for review and approval for the construction of East 21st Street or any other disturbance to the regulatory floodway and/or floodplain.
- K. Prior to the issuance of a Permit to Construct public improvements, the Owner shall provide a signage and striping plan for Phase I of the development to the City Engineer for review and approval, including both private and public street accommodations.
- L. Pursuant to the Greenway Park II Subdivision Agreement Amendment dated October 7, 2008, "Owner shall design and construct the traffic signal to be located at the intersection of South Missouri Avenue and East 15th Street, and shall pay their proportionate share of the costs (36%). Said signal shall be installed concurrent with the construction of public improvements in Phase I of the development, and no Certificates of Occupancy shall be issued until the traffic signal is in place and functional. The City will reimburse the applicant for the balance of the costs for design and construction of the signal (64%)."

II. OBLIGATIONS OF THE OWNERS:

Upon written demand of the Council or the City Manager, the Owner, at their sole cost and expense, shall do, or cause to be done, the following:

- A. The Owner shall landscape the property in keeping with the landscape plan approved by the Community Development Director, and comply with the following landscaping requirements:
 - 1. Landscape and beautify the areas identified on the Landscape Plan.

2. Plant material used for landscaping shall meet the criteria and specifications set forth in that certain manual entitled "Building Casper's Urban Forest."
 3. All planted areas on the property shall be maintained to the degree that they will not create a fire hazard or become unsightly to the development.
 4. Upon demand of the Council, the Owner shall replace and replant any required on-site plant material that dies, or is not in conformity with the approved landscaping plan. The landscaping requirements shall not be applied to the owner of vacant property until such time as an active commercial or residential use is established on that property.
 5. Said on-site landscaping shall be completed before a Certificate of Occupancy will be issued. If said landscaping is delayed due to construction of on or off-site improvements, the Owner may request, in writing, an extension not exceeding six (6) months. If the request demonstrates that, as a result of conditions beyond the control of the Owner, the landscaping cannot be completed, the Community Development Director is authorized to grant the Owners' request for an extension, which shall not exceed six (6) months. In the event the owner is granted an extension for compliance with landscaping construction, the issuance of a certificate of occupancy shall not be delayed pending the completion of the landscaping.
- B. The Owner shall comply with Section 12.20 of the Casper Municipal Code regarding erosion and sediment control. The Owner is required to post cash, an irrevocable letter of credit, performance bond, or other approved surety in the amount of ten cents (\$0.10) per square foot of area disturbed, with a minimum amount of Five Thousand Dollars (\$5,000.00). The amount of the surety will be based on the actual area of land disturbed and will be determined when the Owner submits either an Erosion Control Plan or a building permit for the development. It shall be the obligation of the Owner to keep any bond or letter of credit in full force and effect for the entire duration of the project. As provided herein, the Owner shall furnish proof of the same upon demand of the City.
- C. If the Owner fails to implement the Erosion Control Program, as proposed and approved by the City Engineer, the Owner, by this agreement, hereby authorizes the City to use said bond for implementation and completion of the approved Erosion Control Program. In the event the City incurs costs in completing said program over and above the amount of the bond, cash deposit, or letter of credit, Owner agrees to pay City said costs upon

demand by the City. The City shall release the security one year following the date of final completion of implementation of best management practices on the construction site, or as determined by the City Manager or his designee.

- D. All signs on said site must be approved by the Community Development Director or her designee prior to installation.
- E. All street, alley, and parking surfaces shall be covered with concrete or asphalt concrete pavement materials in accordance with Chapter 16.16 of the Casper Municipal Code. The minimum pavement section for parking and alley surfaces shall be two inch (2") asphaltic concrete surface over two inches (2") asphaltic concrete binder course over six inches (6") of grading W base course. The minimum pavement section for street sections, in accordance with the collector street classification in Chapter 16.16 of the Casper Municipal code, shall be three inch (3") asphaltic concrete surface over three inches (3") of asphaltic binder course over eight inches (8") of grading "W" base. Alternative pavement designs may be substituted upon approval of the City Engineer. All designs shall be in accordance with Chapter 16.16 of the Casper Municipal Code.
- F. Any and all storm drainage sewer lines, trunk lines, lateral catch basins, manholes, and detention areas shall be designed and installed in accordance with the Drainage Plan prepared by the Owner, and approved by the Community Development Director and City Engineer.
- G. Owner shall construct all trash enclosures according to City requirements as shown in the City Engineering Department handouts titled "Minimum Standards for Commercial Sanitation Container Facility" dated March 2002, or "Minimum Standards for Double Bin Commercial Sanitation Facilities." Alternately, upon approval by the City Sanitation Department, other designs may be accepted.
- H. All public improvements shall be designed and inspected by a Wyoming registered Professional Engineer, who shall certify that the improvements, including curbs, gutter, sidewalks, paving, utility systems, storm sewers, street lighting, street signs, etc., have been constructed in accordance with the approved plans and specifications. The certification by the engineer is required to be in writing.
- I. The Owner shall maintain, repair, and replace, if necessary, the water and sewer system improvements for a period of eighteen (18) months from the date the certification is approved. This obligation includes maintenance, repair or replacement for any cause during such period, including acts of subcontractors. Upon completion of all maintenance, repair, and replacement to the satisfaction of the City Engineer, the City shall accept

the construction thereof in writing and thereafter maintain said water and sewer mains and appurtenances dedicated to the public. In the event the Owner fails to maintain, repair, or replace said improvements, City may, at its option, maintain, repair, or replace the same and Owner agrees to pay for any cost incurred thereby. Maintenance, repair, or replacement by the City does not relieve the Owner from its obligation under this paragraph and shall not be construed to be an acceptance of the improvements by the City.

- J. Curb boxes shall be left at the water main easement lines in front of each building and the Owner shall protect, during the subsequent course of developing the Development, valve boxes and curb boxes from damage, and be wholly responsible for the repair and replacement to the City's satisfaction of such that are damaged or destroyed. If the Owner shall fail or refuse to promptly repair or replace such boxes as required, the City may do so and charge the Owner directly for said cost. The Owner shall adjust said valve and curb boxes to finished grade, at the time the paving and/or landscaping work is completed in the Development.
- K. The Owner shall construct the necessary water mains up to and through the Development. All work shall be in accordance with plans and specifications to be prepared by the Owner's engineer and approved by the City. Water main sizes shall be as determined by the City.
- L. The Owner at its cost shall install water service lines in accordance with City specifications to the easement lines so as to serve each building site in the Development.
- M. The Owner shall construct the necessary sewer mains to and through the Development. All work shall be in accordance with plans and specifications to be prepared by the Owner's engineer and approved by the City. Sewer main sizes shall be as determined by the City.
- N. The Owner, at its own cost, shall install sewer service lines, in accordance with City specifications, to each building site in the Development.
- O. The Owner shall protect manhole covers and rings from damage in the course of constructing the sewer main, and shall be solely responsible for repair or replacement to the City's satisfaction. The Owner shall adjust such manhole rings and covers to finished grade. The Owner agrees to protect and save the City harmless from any loss or claim suffered by other sewer users to their real or personal property, and from personal injury or damages by reason of obstruction or damage to the sewer lines or any part thereof occasioned by present or future construction work on said Development by the Owner, and said obligation shall continue until the sewer line and the system within the Development is accepted by the

City's representatives; provided, however, that acceptance of part of the system shall not relieve the Owner of the obligations herein imposed in the event of damage by reason of future sewer construction within said Development.

- P. Prior to the issuance of a building permit for any new structure, or prior to the issuance of a plumbing permit to connect existing buildings to the water and sewer systems, the then-existing water system investment charge (connection charge), sewer system investment charge (connection charge) and water meter charge shall be paid to the City. The Owner will also pay to the Central Wyoming Regional Water System Joint Powers Board the then current Regional Water System investment charge for each building to be served with water.
- Q. All necessary water and sewer easements, in forms acceptable to the City, up to and through the Development shall be obtained by the Owner, which grant to the City the right of ingress and egress thereto for purposes of laying out, constructing, inspecting, maintaining and replacing water mains, sewer mains, fire hydrants, water service lines, and other appurtenances. Appropriate easements or utility rights-of-way shall be provided on all private streets within the subdivision for the water and sewer mains, fire hydrants, water service lines, and other appurtenances.
- R. Easements for all off-site utilities must be provided prior to application for a permit to construct being made to City.
- S. The Owner agrees to abide by the rules and regulations of the City regarding the use of its water and sewer facilities, all relevant ordinances of the City of Casper relating to water and sewer service; and all other state and federal laws, rules, and regulations including but not limited to all provision of the Federal Pretreatment Regulations (40CFR, Part 403) and all City ordinances relating to industrial pretreatment.
- T. At such time as said water and/or sewer mains are installed by the Owner and the work accepted by the City, the City shall reimburse the Owner twice the difference in material cost between an 8-inch water and/or sewer main, or larger size if required by the development, and the required oversized main pursuant to Chapter 16.19 of the Casper Municipal Code, as amended. Such reimbursement will be determined by the City based upon its most recent applicable materials cost at the time of the agreement execution. Reimbursement will only be based on oversizing of water and sewer mains larger than the size required by system analysis and approved by the City.
- U. In addition to and separate from the surety required for erosion control, the Owner shall provide financial surety for construction of improvements to

be owned by the City (water and sewer system improvements) and for the warranty period in accordance with one of the alternatives provided for in Chapter 16.28.070 of the Casper Municipal Code.

- V. The Owner shall provide financial security as provided herein in order to assure that the required water distribution systems, and sewerage collection systems and any other required public improvements as outlined in the site plan agreement are constructed in compliance with the City's specifications. The financial security for the construction of any such improvements shall be in the amount of one hundred percent of the total cost of construction thereof. This financial security shall be secured and delivered to the City prior to issuance of a permit to construct by the City.
- W. A project may be constructed without financial security as otherwise required herein provided that the owner/subdivider submits to the City a bonded agreement between the Owner and its contractor bonded by a Wyoming-licensed bonding company to complete the work covered by a permit to construct as outlined in the subdivision agreement. No permits will be issued for construction of buildings or foundations in the development until the improvements have been completed, a letter of completion has been issued, and the warranty period has begun pursuant to Section 16.28.050 of this chapter.
- X. In the event the Owner elects to construct a project without a bonded agreement between them as set forth above, the owner/subdivider shall provide a written affidavit to the City stating that no sales of real property within the subdivision will be closed until after a letter of completion is issued by the City and the warranty period has begun pursuant to Section 16.28.050 of this chapter. No permits will be issued for construction of foundations of residences or buildings in the development by the City until a letter of completion is issued by the City and the warranty period has begun pursuant to Section 16.28.050. If, prior to the issuance of a letter of completion and the commencement of the warranty period, should the Owner desire to sell lots and have building or foundation permits issued within the project, the Owner shall provide: (1) financial security in a form as required in subsection B of this section in an amount as calculated pursuant to subsection (C) of this section that will cover the estimated cost of the remaining public improvements to be constructed for all or a phase of the subdivision as approved by the City; or (2) a bonded agreement between the Owner and the contractor as set forth in subsection (A)(2) of this section shall be provided to the City.
- Y. The Owner shall provide financial security to the City of Casper during the warranty period for the above-described public improvements. The financial surety shall be available to the City for the repair, maintenance, and replacement of such improvements that fail within the warranty

period. The financial security during the warranty period shall be in the amount of twenty percent of the total construction costs of such improvements. This financial security for the warranty period of eighteen months from the date stated in the letter of completion issued by the City shall be acquired and delivered to the City prior to issuance of any building permits in the subdivision by the City.

Z. Forms of Financial Security.

1. Financial security may be provided in one of the following forms:

- a. An escrow agreement providing for the pledging of the Owner's line of credit or other assets in an amount and form approved by the city;
- b. Cash;
- c. Surety bonds on forms provided by the City;
- d. Unconditional letter of credit subject to the laws and courts of the state of Wyoming in a form approved by the City.

AA. The Owner's engineering consultant shall provide actual construction costs to the city for the purposes of determining the amount of the financial security for the construction phase and warranty period of the improvements. Should actual construction costs not be available to acquire the necessary financial security in a timely manner, the Owner may rely on estimated construction costs as approved of by the City Engineer. All cost estimates shall be supported by documents of the proposed improvements. Construction costs shall cover and include water and sewer lines, as outlined in the Development's drawings and specifications.

BB. The financial security will be released when that portion of the work or period to which it relates has been completed. All requests for release or reduction of a financial security shall be provided in writing to the City Engineer's office, 200 North David Street, Casper, Wyoming 82601. The City Engineer's office will review the request for release and provide a written response back to the owner/developer within ten calendar days.

III. OBLIGATIONS OF THE CITY:

- A. The City shall issue a building permit pursuant to Title 15 of the Casper Municipal Code, under the terms of this agreement and upon performance by the Owner of the conditions set forth above. All building permits will be issued by the Community Development Director in accordance with Casper Municipal Code.
- B. The City shall reimburse the Owner 50% of the costs to build East 21st Street, at such time as invoices are submitted by Owner to the City, in a total amount

up to 80% of the City's total obligation. The remaining 20% of the City's obligation shall be withheld by the City until either the 18-month warranty period has elapsed and the improvements have been accepted by the City, or until such time as an 18-month warranty bond is provided to the City by Owner, pursuant to the requirements of the Casper Municipal Code. Pursuant to the Greenway Park PUD (Planned Unit Development) Site Plan Agreement, dated February 2, 2008, the City's portion of said costs shall not exceed fifty percent (50%) of the estimated 2008 cost to construct said street. According to a January 30, 2008 cost estimate prepared by the City Engineer, the cost to construct East 21st Street was estimated to be \$548 per lineal foot. The approximate length of 21st Street that will be constructed is 1,810 lineal feet; therefore, the City's 50% proportionate share of the cost of East 21st Street shall not exceed \$495,940 (\$548 x 1810 lineal feet = \$991,880/2).

- C. Pursuant to the Greenway Park II Subdivision Agreement Amendment dated October 7, 2008, the Owner is responsible for designing and constructing the traffic signal to be located at the intersection of South Missouri Avenue and East 15th Street. The City shall reimburse the applicant for sixty four percent (64%) of the cost of said signal at such time as the signal installation is completed by the Owner and accepted by the City.

IV. REMEDIES:

In the event the Owner fails to do, or fails to cause to be done, any of the requirements set forth in this contract in an expeditious manner, the City may at its option, do any or all of the following:

- A. Refuse to issue a building permit or certificate of occupancy to the Owner, its successors, or assigns in interest.
- B. After written notice to Owner of those items which have not been completed or properly completed, and upon failure to cure the same by Owner within a reasonable period of time, the City may complete any and all of the public improvements required by this contract, by itself, or by contracting with a third party to do the same. In the event the City elects to complete said improvements or contracts with third party to do so, the Owner agrees to pay any and all costs resulting therefrom upon demand by the City.
- C. The remedies provided in this section are in addition to any other remedies specifically provided for in this agreement, the property lease agreement, or which the City may otherwise have at law or in equity, and are not a limitation on the same. The Owner further agrees to pay all the City's reasonable attorney's fees, court costs, and litigation costs in the event the City is required to enforce the provisions of this agreement in a court of

law. This document, its interpretation, and enforcement shall be governed by the laws of the State of Wyoming.

V. MISCELLANEOUS AGREEMENTS:

- A. Authority: All individuals executing this Agreement on behalf of their principals hereby state and certify that they have full authority to bind and obligate their principals to each and every term and provision of this Agreement.
- B. Successors and Assigns: This agreement shall be binding upon and shall inure to the benefits of all parties hereto, their successors, and assigns.
- C. Wyoming Governmental Claims Act: The City does not waive any right or rights it may have pursuant to the Wyoming Governmental Claims Act, Wyoming Statute Sections 1-39-101, et seq. The City specifically reserves the right to assert any and all immunities, rights and defenses it may have pursuant to the Wyoming Governmental Claims Act.
- D. Governing Law and Venue: Any litigation regarding this agreement shall be resolved in a court of competent jurisdiction situated in Natrona County, Wyoming.
- E. No Third Party Beneficiary Rights: The parties to this Agreement do not intend to create in any other individual or entity the status of third-party beneficiary, and this Agreement shall not be construed so as to create such status. The rights, duties and obligations contained in this Agreement shall operate only between the parties to this Agreement, and shall inure solely to the benefit of the parties to this Agreement. The parties to this Agreement intend and expressly agree that only parties signatory to this Agreement shall have any legal or equitable right to seek to enforce this Agreement, to seek any remedy arising out of a party's performance or failure to perform any term or condition of this Agreement, or to bring an action for the breach of this Agreement.

IN WITNESS WHEREOF, the parties hereto have executed this agreement on the day and year first written above.

APPROVED AS TO FORM:

Wallace Tremblay III

ATTEST:

Dee Hardy

CITY OF CASPER, WYOMING

A Municipal Corporation

April D. Getchius

April D. Getchius, AICP

Community Development Director

WITNESSETH:

HAYSTACK PROPERTIES, LLC

Dee Hardy
Printed Name
Title: Dee Hardy

By:

Printed Name: Donald B. Berlout

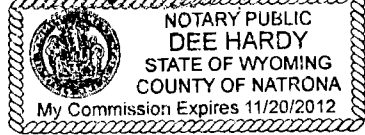
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ACKNOWLEDGEMENT

STATE OF WYOMING)
)ss.
COUNTY OF NATRONA)

The foregoing instrument was acknowledged before me by April D. Getchius, AICP, Community Development Director, City of Casper, this 18th day of August, 2009.

WITNESS my hand and official seal.



My Commission Expires: 11/20/12

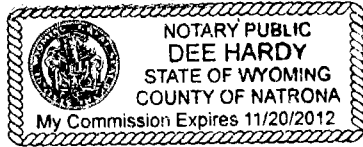
Dee Hardy
Notary Public

ACKNOWLEDGEMENT

STATE OF)
)ss.
COUNTY OF)

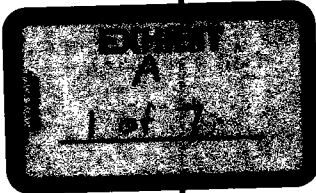
The foregoing instrument was acknowledged before me by Donald B. Berland
as Member for Haystack Properties, LLC, this 6th day of
August, 2009.

WITNESS my hand and official seal.



Dee Hardy
Notary Public

My Commission Expires: 11/20/12



GREENWAY PARK CASPER, WYOMING

SECTION 14, T33N, R79W, 6 P.M.
NATRONA COUNTY, WYOMING

LEGAL DESCRIPTION:

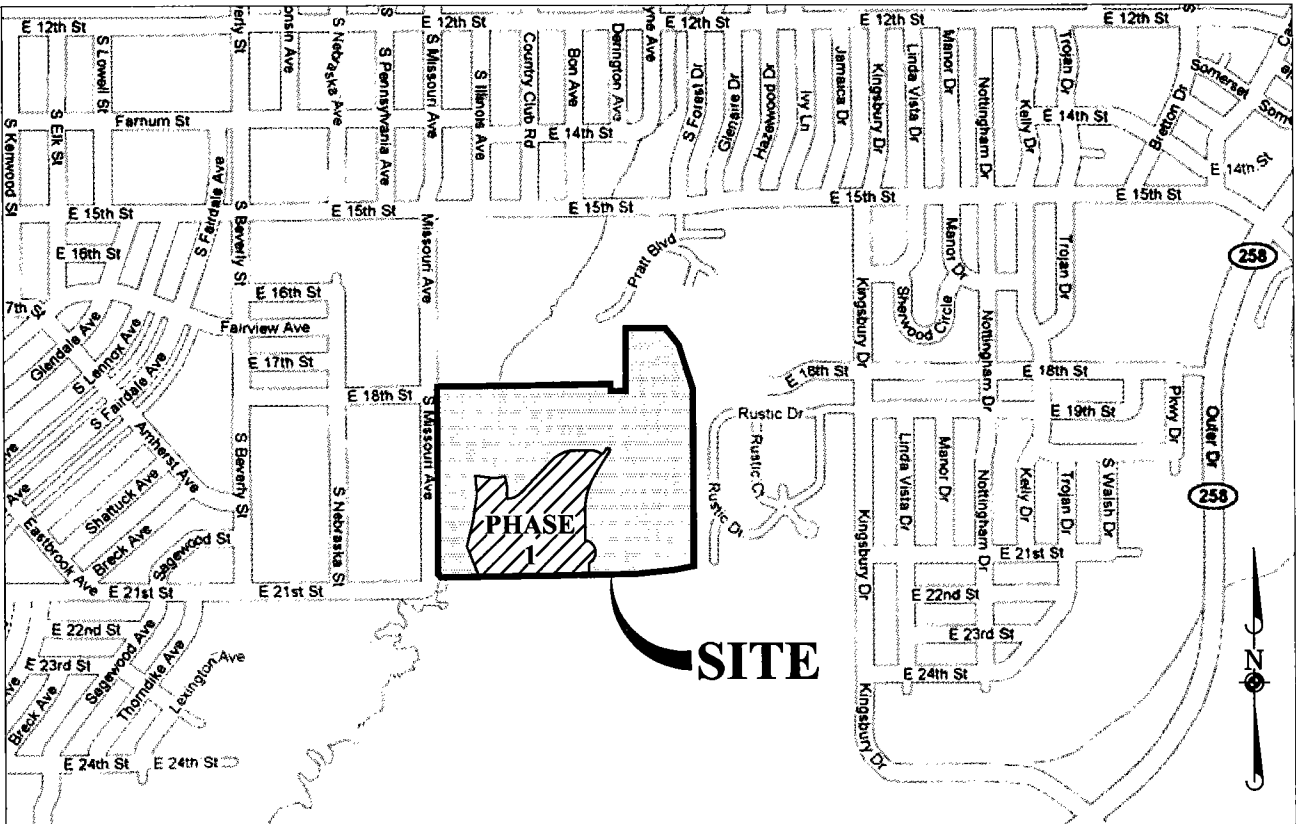
A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14, TOWNSHIP 33 NORTH, RANGE 79 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF NATRONA, STATE OF WYOMING, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE BASIS OF BEARINGS IS ASSUMED TO BE N 89°08'14" E FROM THE SOUTHWEST CORNER OF SAID SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14 TO THE CENTER QUARTER CORNER OF SAID SECTION 14;

COMMENCING AT SAID CENTER QUARTER CORNER OF SECTION 14;
THENCE S 89°08'14" W ALONG THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 14 A DISTANCE OF 237.93 FEET;
THENCE N 00°51'46" W PERPENDICULAR TO SAID SOUTH LINE A DISTANCE OF 40.00 FEET TO A LINE PARALLEL WITH AND 40.00 FEET NORTHERLY OF SAID SOUTH LINE, ALSO BEING THE POINT OF BEGINNING;

THENCE S 89°08'14" W ALONG SAID PARALLEL LINE A DISTANCE OF 800.95 FEET;
THENCE N 22°27'42" W A DISTANCE OF 229.93 FEET;
THENCE N 14°04'25" E A DISTANCE OF 176.55 FEET;
THENCE N 08°51'14" E A DISTANCE OF 188.20 FEET;
THENCE N 02°02'47" W A DISTANCE OF 47.75 FEET;
THENCE N 04°41'06" W A DISTANCE OF 93.03 FEET;
THENCE 31.24 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 270.00 FEET, WITH A CENTRAL ANGLE OF 6°37'49", AS SUBTENDED BY A CHORD WHICH BEARS S 85°43'28" E A DISTANCE OF 31.23 FEET;
THENCE S 82°24'33" E A DISTANCE OF 71.68 FEET;
THENCE 105.20 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 230.00 FEET, WITH A CENTRAL ANGLE OF 26°12'24";
THENCE S 10°06'54" E A DISTANCE OF 65.69 FEET;
THENCE 64.23 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 184.00 FEET, WITH A CENTRAL ANGLE OF 21°33'22";
THENCE S 28°06'53" E A DISTANCE OF 5.75 FEET;
THENCE S 00°04'25" W A DISTANCE OF 20.00 FEET;
THENCE 108.96 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 136.00 FEET, WITH A CENTRAL ANGLE OF 45°54'21", AS SUBTENDED BY A CHORD WHICH BEARS N 67°07'15" E A DISTANCE OF 106.07 FEET;
THENCE N 44°10'04" E A DISTANCE OF 322.53 FEET;
THENCE 168.13 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 214.00 FEET, WITH A CENTRAL ANGLE OF 45°00'53";
THENCE N 89°10'57" E A DISTANCE OF 110.26 FEET;
THENCE 89.21 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 164.00 FEET, WITH A CENTRAL ANGLE OF 31°09'59";
THENCE 22.89 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 15.00 FEET, WITH A CENTRAL ANGLE OF 87°26'53";
THENCE N 32°54'03" E A DISTANCE OF 12.73 FEET;
THENCE 26.95 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 136.00 FEET, WITH A CENTRAL ANGLE OF 11°21'21";
THENCE S 68°27'18" E A DISTANCE OF 28.00 FEET;
THENCE 32.50 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 164.00 FEET, WITH A CENTRAL ANGLE OF 11°21'21", AS SUBTENDED BY A CHORD WHICH BEARS S 27°13'22" W A DISTANCE OF 32.45 FEET;
THENCE S 32°54'03" W A DISTANCE OF 169.37 FEET;
THENCE 286.39 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 486.00 FEET, WITH A CENTRAL ANGLE OF 33°45'49";
THENCE S 00°51'46" E A DISTANCE OF 192.11 FEET;
THENCE 6.11 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 30.00 FEET, WITH A CENTRAL ANGLE OF 11°40'00";
THENCE 205.48 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 85.00 FEET, WITH A CENTRAL ANGLE OF 138°30'29", AS SUBTENDED BY A CHORD WHICH BEARS S 11°42'17" E A DISTANCE OF 158.98 FEET;
THENCE 20.39 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 20.00 FEET, WITH A CENTRAL ANGLE OF 58°24'43";
THENCE S 00°51'46" E A DISTANCE OF 40.56 FEET;
THENCE 47.12 FEET ALONG THE ARC OF A CURVE TO THE LEFT, HAVING A RADIUS OF 30.00 FEET, WITH A CENTRAL ANGLE OF 90°00'00", TO THE POINT OF BEGINNING;

CONTAINING AN AREA OF 612,155 SQUARE FEET (14.053 ACRES), MORE OR LESS.



VICINITY MAP
SCALE: 1"=600'

SHEET INDEX

SHEET 1 OF 7.....	COVER SHEET
SHEET 2 OF 7.....	EXISTING SITE CONDITIONS
SHEET 3 OF 7.....	SITE PLAN
SHEET 4 OF 7.....	DIMENSIONAL PLAN
SHEET 5 OF 7.....	PRELIMINARY UTILITY PLAN
SHEET 6 OF 7.....	PRELIMINARY GRADING PLAN
SHEET 7 OF 7.....	PRELIMINARY SURFACE DRAINAGE PLAN

DEVELOPER/OWNER

MR. DON BERLAND, PRESIDENT
BERLAND DEVELOPMENT GROUP INC.
13394 EAST CONTROL TOWER ROAD
ENGLEWOOD, COLORADO 80112
303.721.1981
dberland@berland.cc

ENGINEER

MANHARD CONSULTING, LTD.
7442 SOUTH TUCSON WAY,
SUITE 190-A
CENTENNIAL, COLORADO 80112
303.708.0500

LAND PLANNER/LANDSCAPE ARCH.

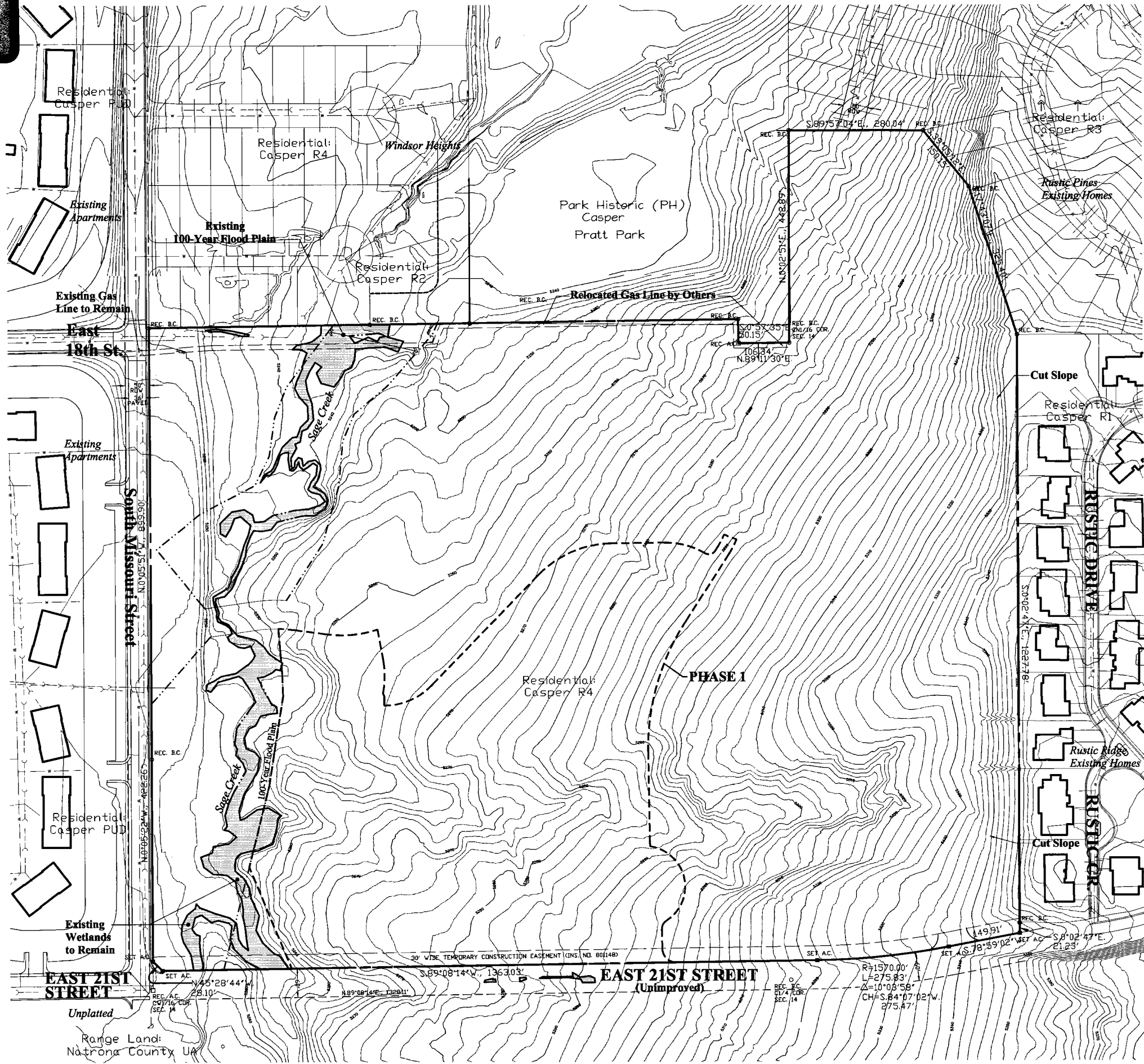
MANHARD CONSULTING, LTD.
7442 SOUTH TUCSON WAY,
SUITE 190-A
CENTENNIAL, COLORADO 80112
303.708.0500

DATE	REVISION	BY	CHKD	APPD	COMMENTS
04/17/08					REVISED PER CITY COMMENTS

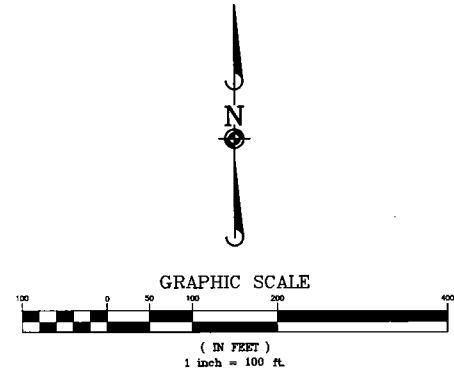


GREENWAY PARK CASPER, WYOMING COVER SHEET	PROJ. NO.: 17N PROJ. NAME: 17N DRAWN BY: JH DATE: 02/20/09 SCALE: NTS SHEET 1 OF 7 BRCW2 © 2009 ALL RIGHTS RESERVED
---	---

PENDING APPROVAL - NOT FOR CONSTRUCTION



- LEGEND:
- EXISTING WATER MAIN
 - EXISTING STORM SEWER
 - EXISTING SANITARY SEWER



Manhard
CONSULTING

2448 South Turner Way, Suite 100, Casper, WY 82401
Cell: 307.266.0000 Fax: 307.266.0002
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

DATE	REVISION	BY	CHK
04/17/09	REVISED PER CITY COMMENTS		

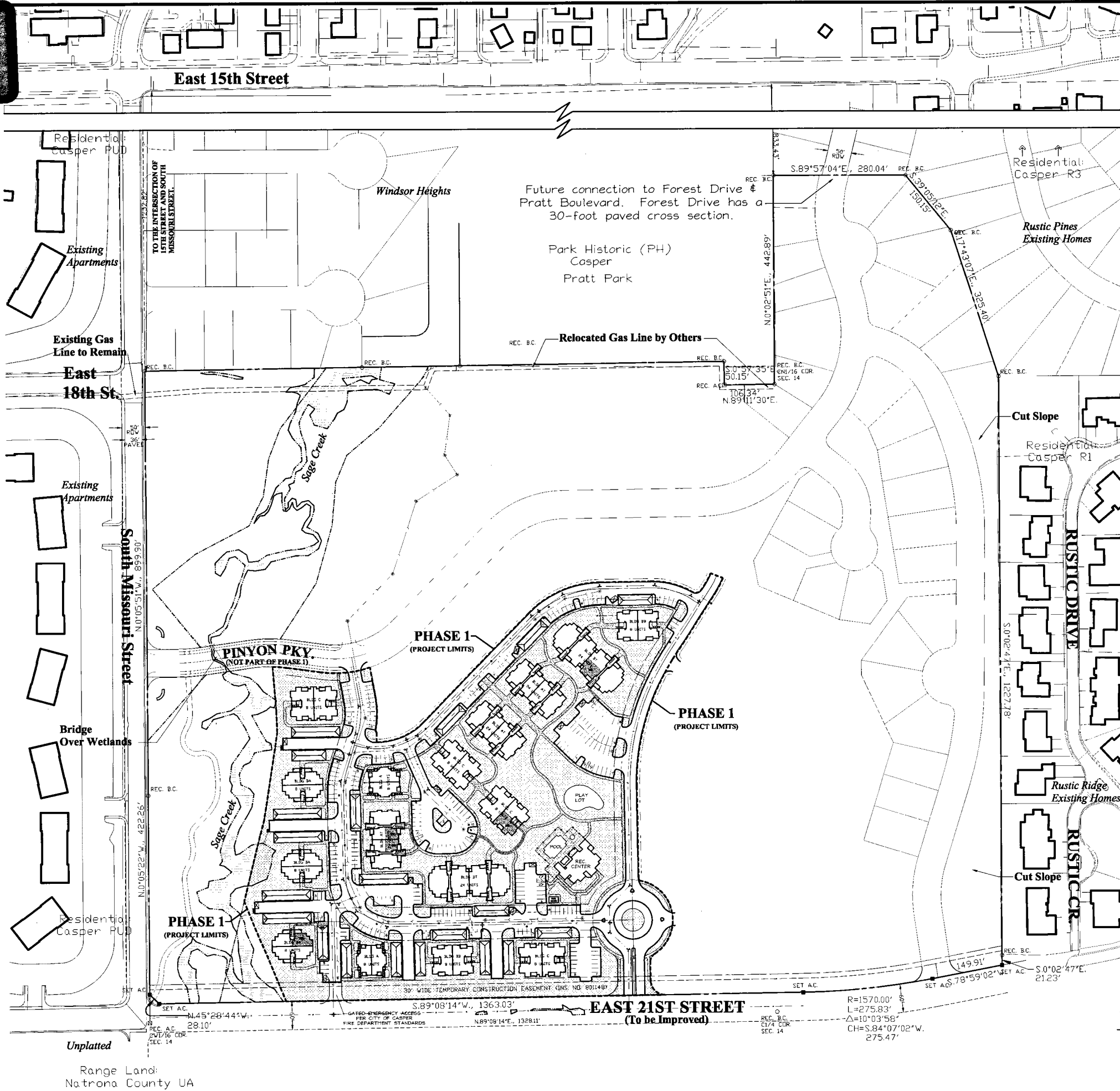
GREENWAY PARK
CASPER, WYOMING
EXISTING CONDITIONS

PROJ. NO.: 1111
PROJ. NAME: JSH
DRAWN BY: JSH
DATE: 02/20/09
SCALE: 1"=100'

SHEET
2 OF 7
BRCW2

PENDING APPROVAL - NOT FOR CONSTRUCTION

3-17
 3-17



- BUILD A (2 TOTAL) : 2 STORY,
8-ONE BEDROOM UNITS EACH,
- BUILD AT (3 TOTAL) : 3 STORY,
24-ONE BEDROOM UNITS EACH,
- BUILD BA (3 TOTAL) : 2 STORY,
8-TWO BEDROOM UNITS EACH,
- BUILD BB (2 TOTAL) : 2 STORY,
8-TWO BEDROOM UNITS EACH,
- BUILD BT (2 TOTAL) : 3 STORY,
24-TWO BEDROOM UNITS EACH,
- BUILD C (4 TOTAL) : 2 STORY,
8-THREE BEDROOM UNITS EACH,
- RENTAL / RECREATION CENTER
(1 TOTAL)
BUILDING AREA 3,776 SF.
- COVERED GARAGE PARKING
(14 TOTAL)
7 PARKING SPACES
- COVERED GARAGE PARKING
(6 TOTAL)
10 PARKING SPACES
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE
- FENCING
- HANDICAP ACCESSIBILITY ROUTE
- LANDSCAPE AREAS
- TRASH RECEPTACLES

<u>SITE DATA:</u>	
TOTAL LAND AREA:	14.1 ACRES
TOTAL APTS:	208 UNITS
TOTAL GROUND FLOOR BUILDING AREA:	107,380 SF.
PERCENTAGE OF LAND COVERED BY BUILDINGS:	18%

DENSITY 208 UNITS/14.1 AC.
= 14.75 DU/AC

<u>PARKING DATA:</u>	
PROVIDED APARTMENTS:	208
GARAGE SPACES:	158
0.76 STALLS/ I UNIT	
SURFACE STALLS:	260
1.25 STALLS/ I UNIT	
OVERALL SPACES:	418
2.01 STALLS/ I UNIT	
2.00 STALLS/ I UNIT	REQUIRED

SQUARE FOOTAGE OF
HARDSCAPE/PAVED AREA: 275,532 SF.
PERCENTAGE OF LAND
COVERED BY
HARDSCAPE/PAVING: 45%

LANDSCAPE DATA:
SQUARE FOOTAGE OF ALL
LANDSCAPED AREAS: 229,243 SF.
PERCENTAGE OF SITE
COVERED BY LANDSCAPING: 37%

KEY SITE DIMENSIONS:

INTERNAL ROAD WIDTH:	28'
TYPICAL BUILDING DISTANCE FROM INTERNAL ROAD:	21'

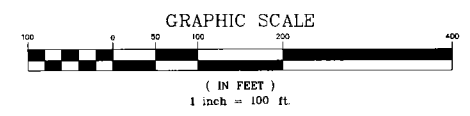
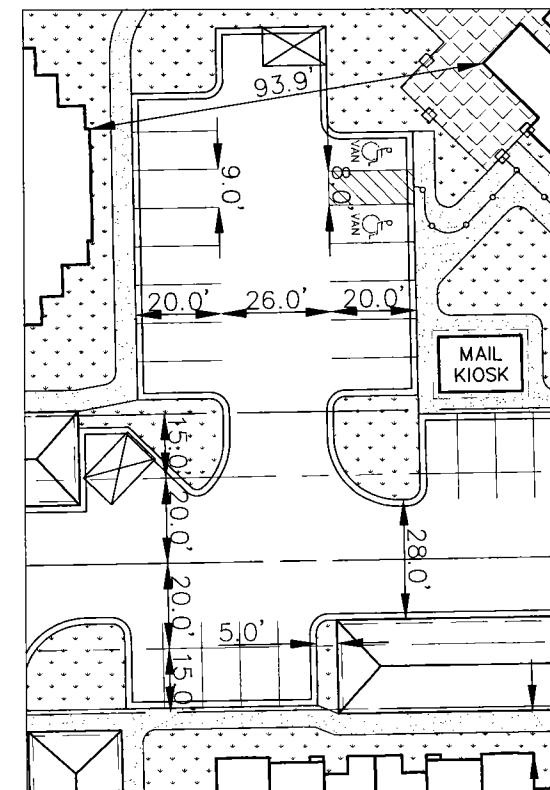
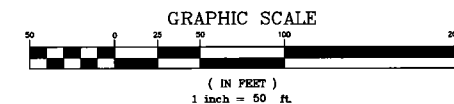


EXHIBIT
A
44-1



TYPICAL SITE DIMENSION DETAIL
SCALE: 1"=20'

FENCING
HANDICAP ACCESSIBILITY ROUTE
LANDSCAPE AREAS
TRASH RECEPTACLES



DATE	REVISION	DESIGNED BY
04/14/09	REVISED PER CITY COMMENTS	JGH

Manhardt
CONSULTING

14001 Beech Valley Road, Suite 100 • Glenview, Illinois 60025 • 847.274.0400 • 847.274.0404

Civil Engineers • Surveyors • Water Resources Engineers • Water & Wastewater Engineers
Construction Management • Environmental Scientists • Landscape Architects • Planners

**GREENWAY PARK
CASPER, WYOMING
DIMENSIONAL PLAN**

PROJ. NO.: TTN
 PROJ. AGENCY: JBH
 DRAWN BY: JBH
 DATE: 02/20/09
 SCALE: 1"=50'

SHEET
4 OF **7**
 BRCWA2

PENDING APPROVAL - NOT FOR CONSTRUCTION



GRADING LEGEND

- 6105 — = PROPOSED CONTOUR ELEVATION
- - - 6104 - - - = EXISTING CONTOUR ELEVATION
- - - 6100 - - - = DIRECTION OF PAVEMENT OR SWALE SLOPE
- = VERTICAL CURB & GUTTER
- = RETAINING WALL LOCATION

GRAPHIC SCALE

(IN FEET)

1 inch = 50 ft.

0 10 20 30 40 50 60 70 80 90 100

Manhard CONSULTING

7449 South Union Way, Suite 100, Casper, Wyoming 82401
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscapes Architects • Planners

GREENWAY PARK

CASPER, WYOMING

PRELIMINARY GRADING PLAN

PROJ. NO.: TTN

PROJ. ASSOC.: JSH

DRAWN BY: DDH

DATE: 02/20/09

SCALE: 1"=100'

SHEET

6 OF 7

BRCW2

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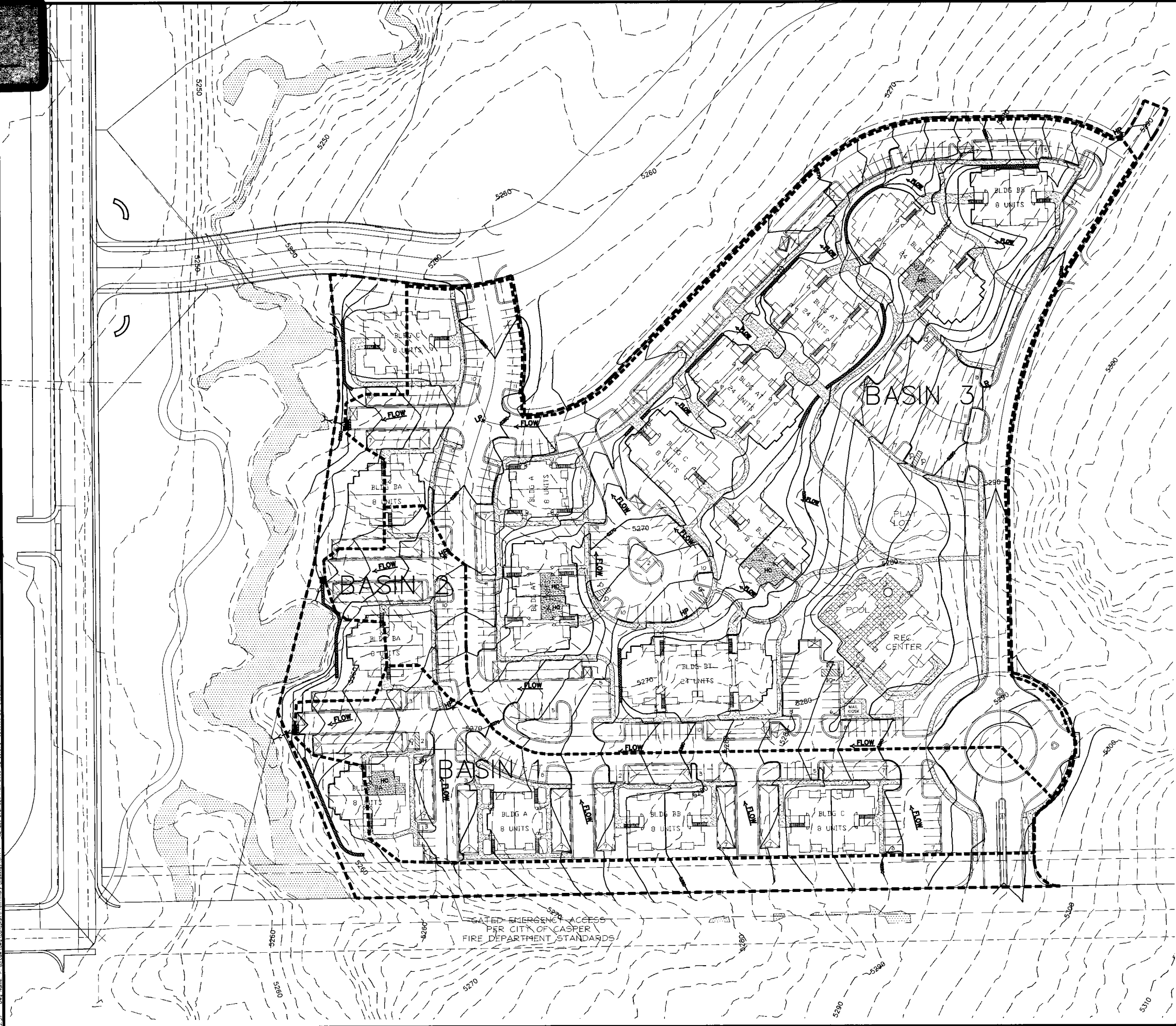
DATE: 04/17/09

REVISION: PER CITY COMMENTS

PENDING APPROVAL - NOT FOR CONSTRUCTION

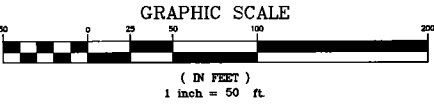


12.57 Plan Name: P:\Misc\City\Greenway Park Preliminary Drainage Plan 2009.08.09.dwg Updated By: Jansford



BASIN DRAINAGE MAP ACREAGE	
BASIN 1 :	2.50 ACREAGE
BASIN 2 :	0.50 ACREAGE
BASIN 3 :	9.20 ACREAGE

GRADING LEGEND	
	PROPOSED CONTOUR ELEVATION
	EXISTING CONTOUR ELEVATION
	DIRECTION OF PAVEMENT OR SWALE SLOPE
	VERTICAL CURB & GUTTER
	RETAINING WALL LOCATION



MANHARD CONSULTING

7449 South Tenth Way, Suite 100A, Loveland, CO 80538
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

GREENWAY PARK
CASPER, WYOMING

PRELIMINARY SURFACE DRAINAGE PLAN

PROJ. MGR. JTN
PROJ. ARCH. JSH
DRAWN BY JSH
DATE 02/20/09
SCALE 1"=50'

SHEET

7 OF 7

BRCAW2

DATE

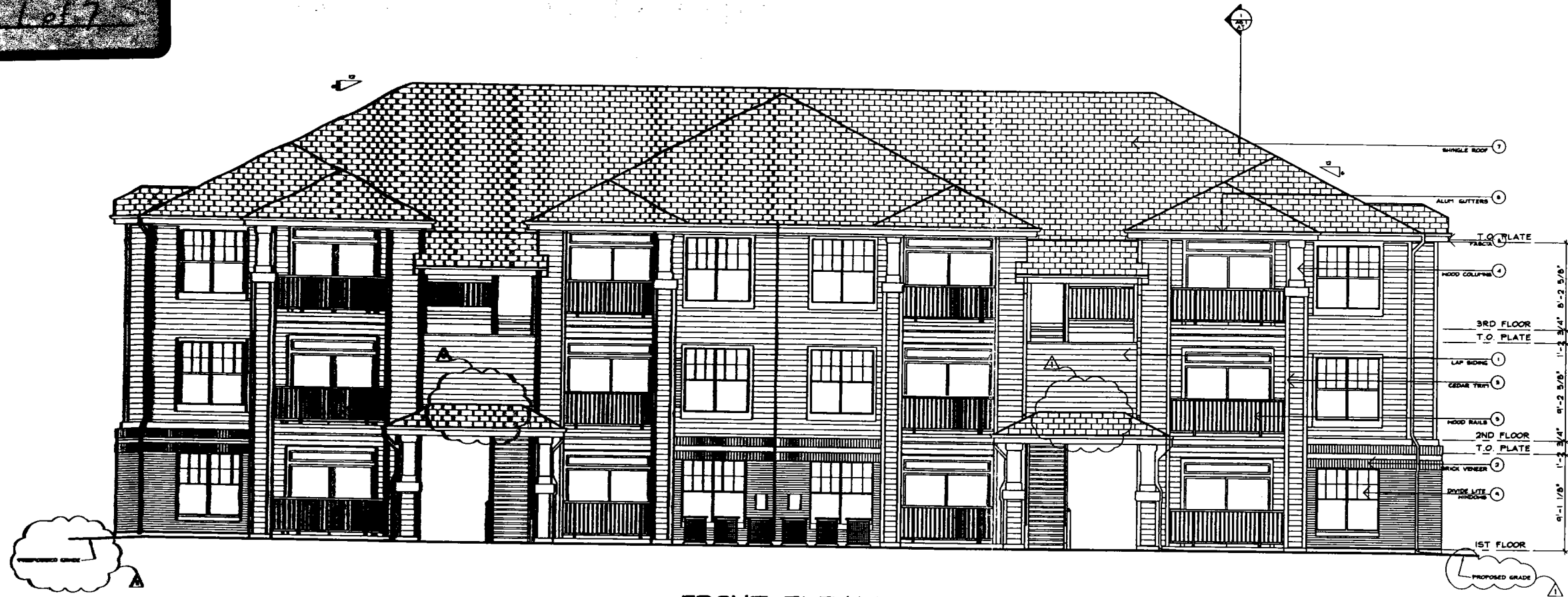
04/17/09

REVISION

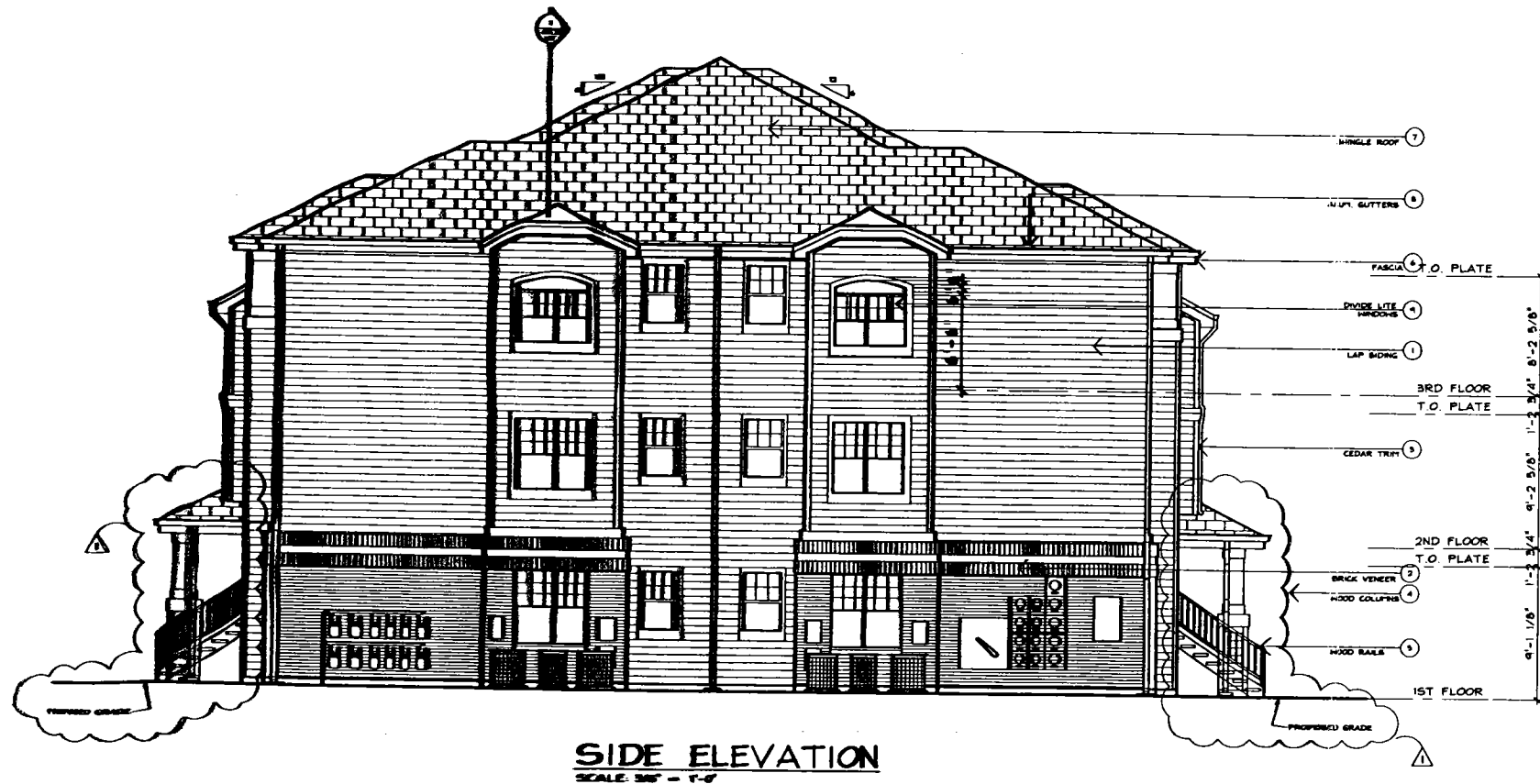
PER CITY COMMENTS

PENDING APPROVAL - NOT FOR CONSTRUCTION

EXHIBIT
B
1 of 7

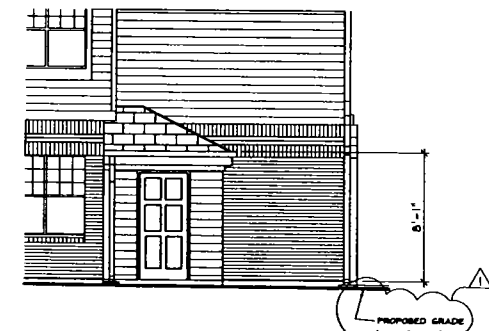


FRONT ELEVATION
SCALE: 3/16" = 1'-0"



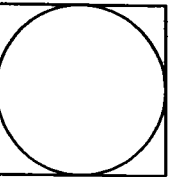
SIDE ELEVATION
SCALE: 3/16" = 1'-0"

TYPICAL EXTERIOR MATERIALS:	
1- SIDING	TEXTURED HARDBOARD LAP, 6" MAX. EXPOSURE/PANT.
2- BRICK	RUNNING BOND W/ROCKLOCK'S COURSES/ROCKLOCK BAND
3- TRIM	2X OR 1X CEDAR AS SHOWN AND DETAILED ON ELEVATIONS AND TYPICAL PROJECT DETAILS. SEE DETAIL A6.3 FOR TRIM AT WINDOWS AND DOORS. SEE DETAILS 7, 8 SHEET A6.5 FOR CORNER BOARD DETAILS. ALL TRIM SHALL BE PAINTED.
4- MOOD COLUMNS	ALL MOOD COLUMNS AT PORCHES SHALL BE MARBONITE VENEER WITH DB BANDS. SEE DETAIL 1, 8 SHEET A6.6.
5- PORCH RAILS	2" SQUARE STEEL TUBE TOP & BOTTOM WITH 1" SQUARE STEEL BALLUSTERS @ 4'-7 1/2" C. SEE DETAIL 2 SHEET A6.6
6- FASCIA	6 1/2" HARDBOARD/PANT. SEE SHEET A6.5.
7- ROOFING	HEAVYWEIGHT FIBERGLASS GLASS A SHINGLES. PROVIDE DIVID ROOF VENTS AT ALL LOCATIONS SHOWN ON ROOF PLANS-SEE SHEET A6.6 FOR DETAIL.
8- GUTTER & DOWNSPOUT	PROVIDE COMPLETE ALUM. GUTTER AND DOWNSPOUT SYSTEM AT ALL SAME LOCATIONS. ALL GUTTERS AND DOWNSPOUTS SHALL BE PAINTED.
9- WINDOWS AND DOORS	SEE BUILDING ELEVATIONS AND SHEET A6.1 FOR SCHEDULES.



PARTIAL ELEVATION AT SPRINKLER RISER ROOM/DOMESTIC WATER SERVICE ROOM
SCALE: 3/16" = 1'-0"
SEE SITE PLAN FOR LOCATIONS

FEB 23 2009
BUILDING TYPE AT



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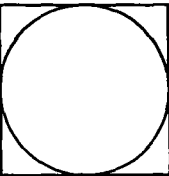
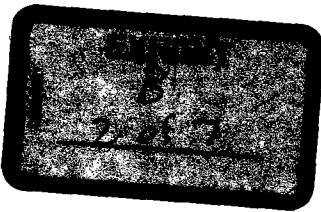
**SMOOK
DESIGN
GROUP**
ARCHITECTURE
1000 E. SHAW PLACE, SUITE 110
CENTENNIAL, COLORADO 80106
303.776.8870 303.776.8870 FAX

EXTERIOR
ELEVATIONS

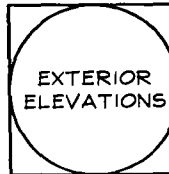
THE PRESERVE APARTMENTS

Project BE0810
Date 06/19/08
Drawn DCF, CAK
Checked EJS
Revised
08/11/08

sheet
32 of 179
A4.1-AT

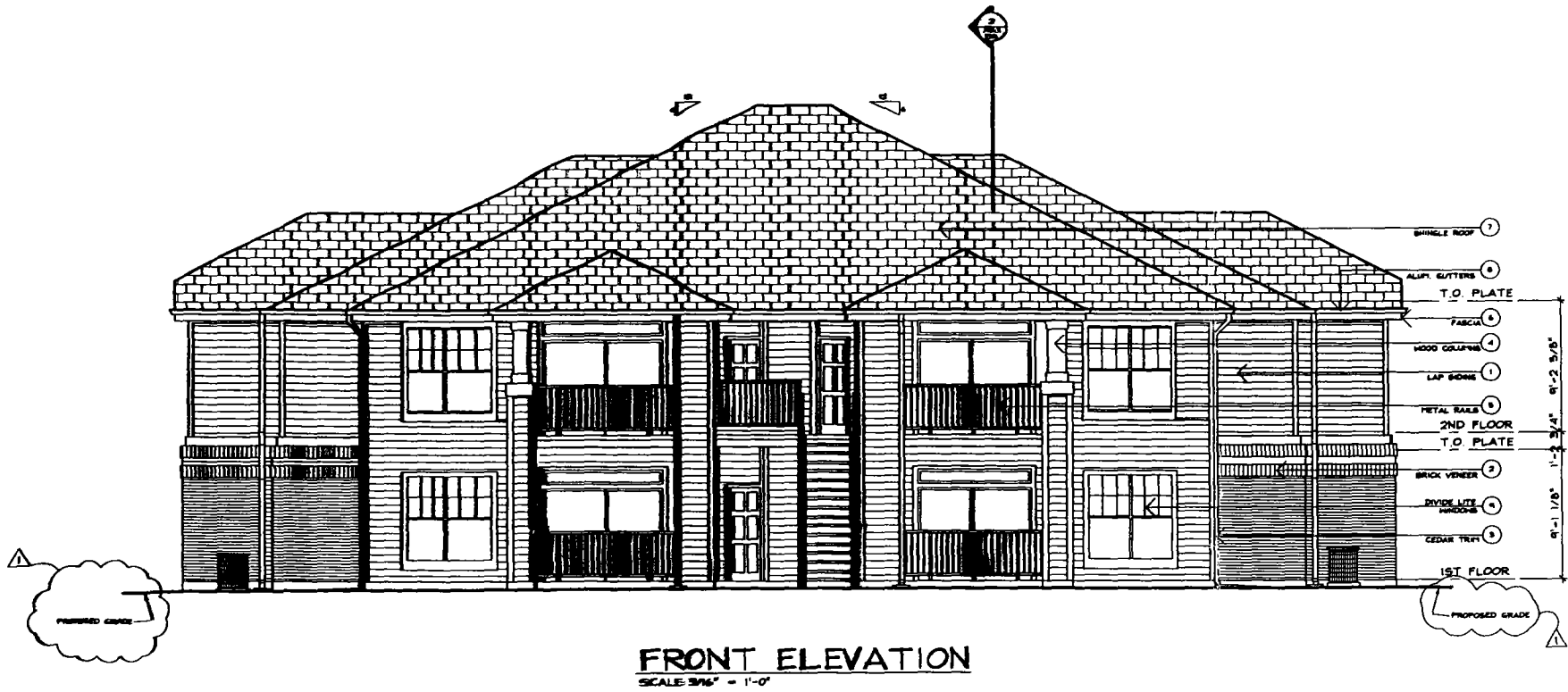
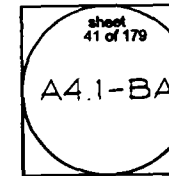


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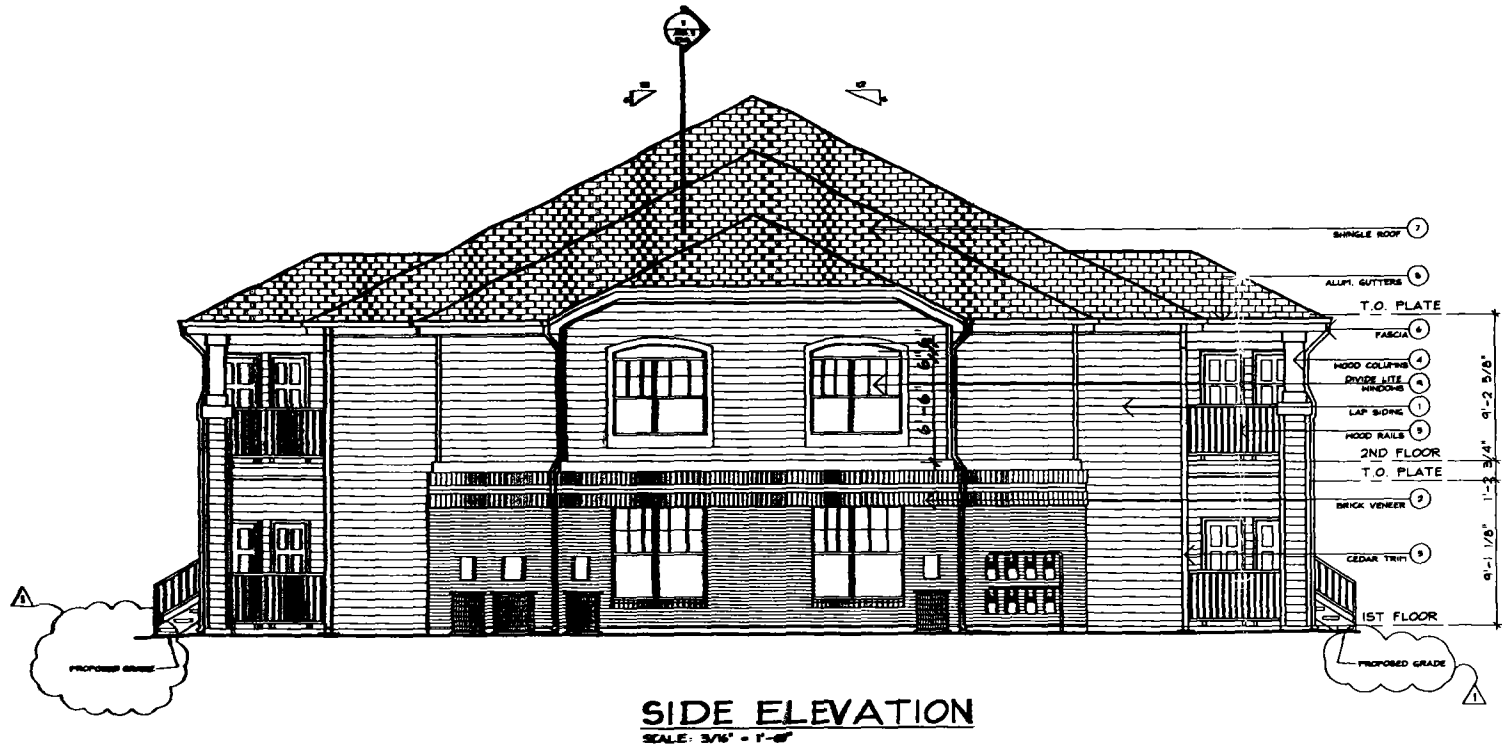


THE PRESERVE APARTMENTS

Project	BE0810
Date	06/19/08
Drawn	DCF, CAK
Checked	EJS
Revised	
	08/11/08

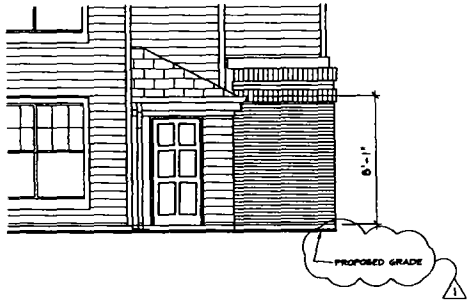


FRONT ELEVATION
SCALE: 3/16" = 1'-0"



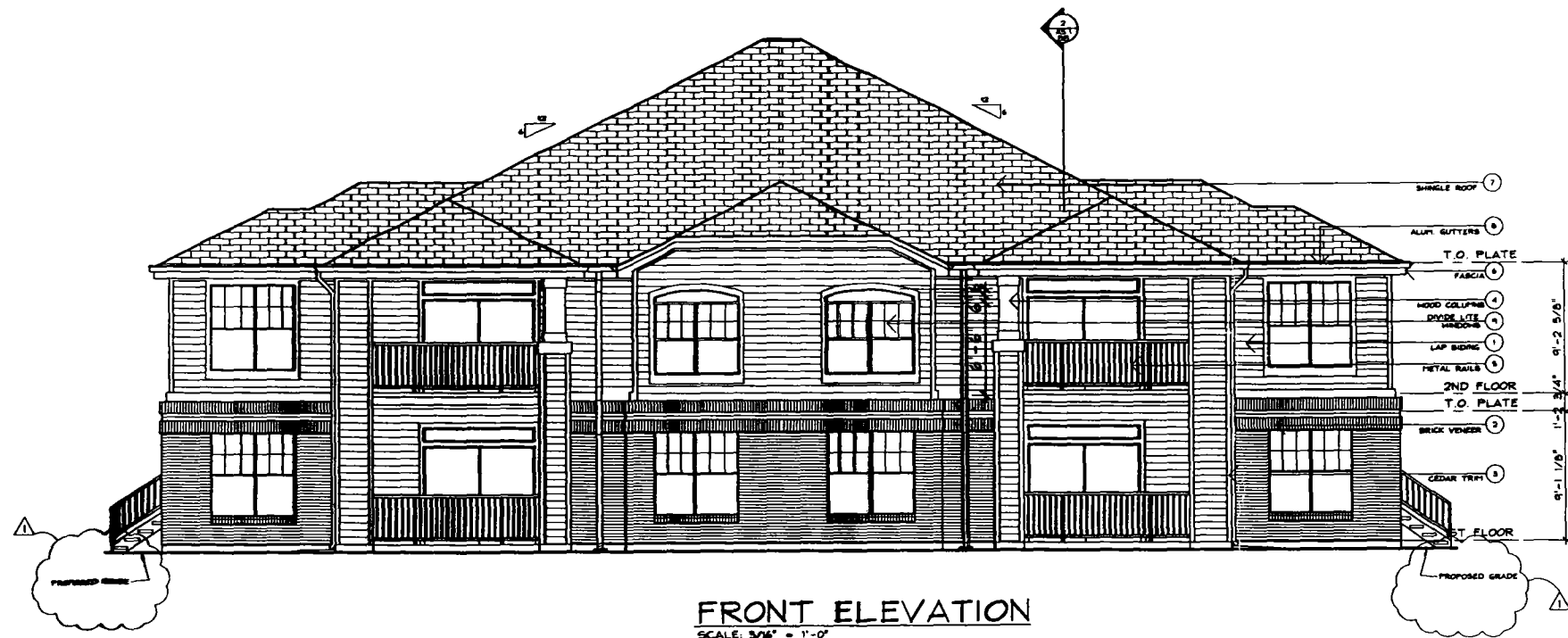
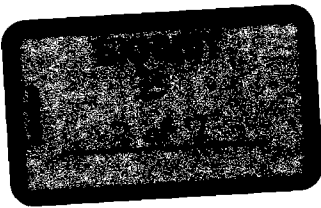
SIDE ELEVATION
SCALE: 3/16" = 1'-0"

TYPICAL EXTERIOR MATERIALS:	
1- SIDING	TEXTURED HARDBOARD LAP, 8" MAX. EXPOSURE/PAINT.
2- BRICK	RUNNING BOND HARDWARE COURSE/SHOCK BAND.
3- TRIM	2x OR 1 1/2" x CEDAR AS SHOWN AND DETAILED ON ELEVATIONS AND TYPICAL PROJECT DETAILS. SEE SHT. A4.2 FOR TRIM AT WINDOWS AND DOORS. SEE DETAILS 7, 8 SHEET A4.3 FOR CORNER BOARD DETAILS. ALL TRIM SHALL BE PAINTED.
4- MOOD COLUMNS	ALL MOOD COLUMNS AT PORCHES SHALL BE FABRICATE VENEER WITH 1/8" BANDS. SEE DETAIL 1, 4, 5 SHEET A4.4.
5- PORCH RAILS	2" SQUARE STEEL TUBE TOP & BOTTOM WITH 1" SQUARE STEEL BALUSTERS @ 4'-7 1/2" C. SEE DETAIL 2 SHEET A4.5
6- FASCIA	5 1/2" HARDBOARD/PAINT. SEE SHEET A4.6
7- ROOFING	HEAVYWEIGHT FIBERGLASS CLASS A SHINGLES. PROVIDE SHED ROOF VENTS AT ALL LOCATIONS SHOWN ON ROOF PLANS-SEE SHEET A4.6 FOR DETAIL.
8- GUTTER & DOWNSPOUT	PROVIDE COMPLETE ALUM. GUTTER AND DOWNSPOUT SYSTEM AT ALL RAVE LOCATIONS. ALL GUTTERS AND DOWNSPOUTS SHALL BE PAINTED.
9- WINDOWS AND DOORS	SEE BUILDING ELEVATIONS AND SHEET A4.1 FOR SCHEDULES

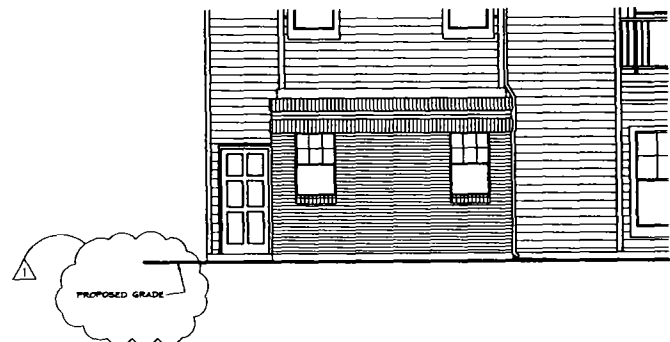
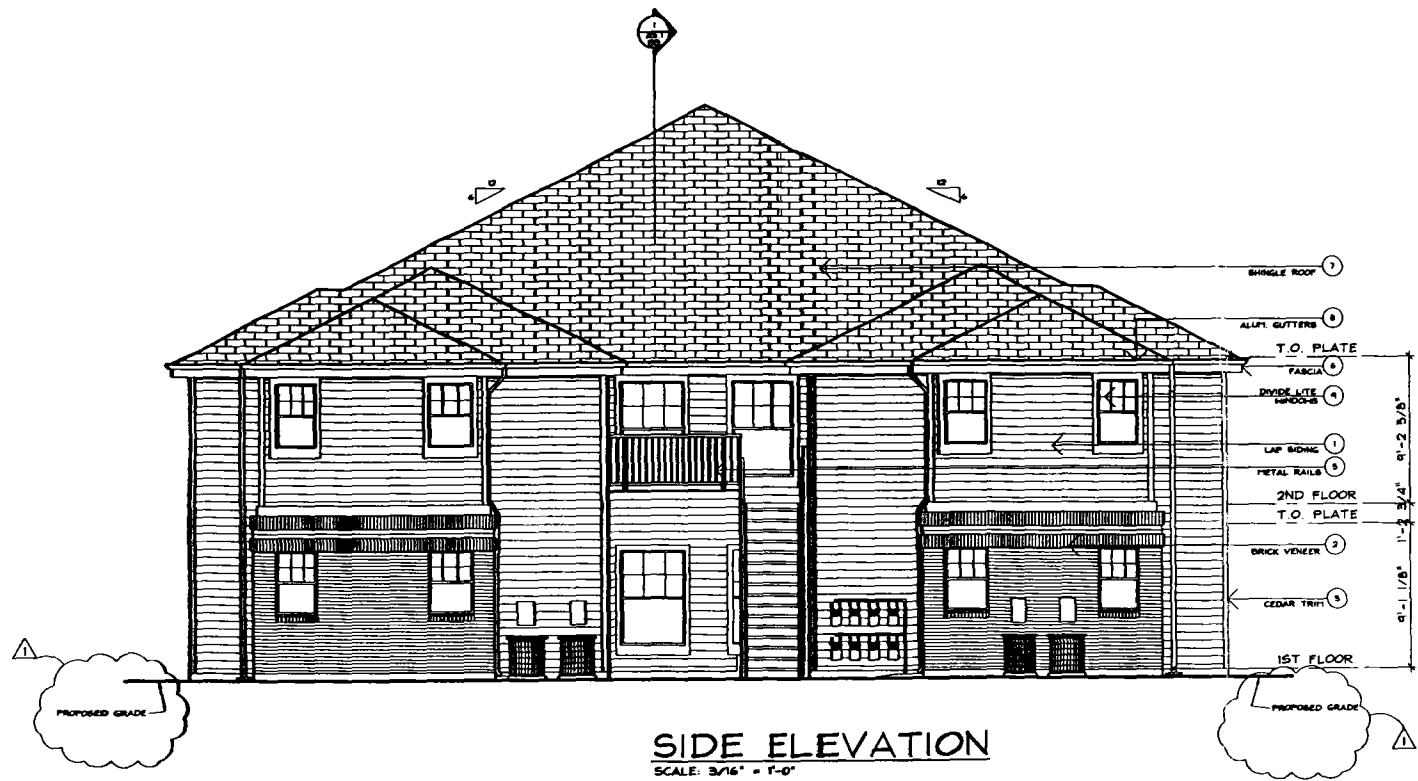


PARTIAL ELEVATION AT SPRINKLER RISER ROOM/DOMESTIC WATER SERVICE ROOM
SCALE: 1/8" = 1'-0"
SEE SITE PLAN FOR LOCATIONS

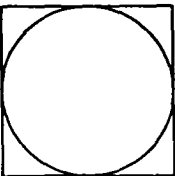
BUILDING TYPE BA



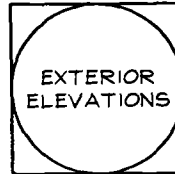
TYPICAL EXTERIOR MATERIALS:	
1- SIDING	TEXTURED HARDBOARD LAP, 6" MAX. EXPOSURE/PART.
2- BRICK	RUNNING BOND HYDRONLOCK/COURSES/HYDRONLOCK BAND.
3- TRIM	2X OR 1" X CEDAR AS SHOWN AND DETAILED ON ELEVATIONS AND TYPICAL PROJECT DETAILS. SEE DETAIL AS.3 FOR TRIM AT WINDOWS AND DOORS. SEE DETAILS T.4 SHEET AS.5 FOR CORNER BOARD DETAILS. ALL TRIM SHALL BE PAINTED.
4- HOOD COLUMNS	ALL HOOD COLUMNS AT PORCHES SHALL BE PIGEONITE VENEER WITH HIS BANDS. SEE DETAIL 1.4.9 SHEET AS.6.
5- PORCH RAILS	2" SQUARE STEEL TUBE TOP & BOTTOM WITH 1" SQUARE STEEL BALUSTERS @ 4'-0" C. SEE DETAIL 3 SHEET AS.6.
6- FASCIA	6 1/2" HARDBOARD/PART. SEE SHEET AS.5.
7- ROOFING	HEAVYWEIGHT FIBERGLASS CLASS A SHINGLES. PROVIDE 2X2 ROOF VENTS AT ALL LOCATIONS SHOWN ON ROOF PLANS-SEE SHEET AS.6 FOR DETAIL.
8- GUTTER & DOWNSPOUT	PROVIDE COMPLETE ALUM. GUTTER AND DOWNSPOUT SYSTEM AT ALL RAISE LOCATIONS. ALL GUTTERS AND DOWNSPOUTS SHALL BE PAINTED.
9- WINDOWS AND DOORS	SEE BUILDING ELEVATIONS AND SHEET AS.1 FOR SCHEDULES.



PARTIAL ELEVATION AT SPRINKLER RISER ROOM / DOMESTIC WATER SERVICE
SCALE: 1/8" = 1'-0"
SEE SITE PLAN FOR LOCATIONS

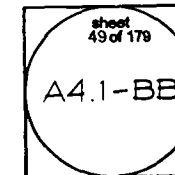


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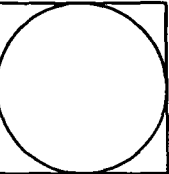
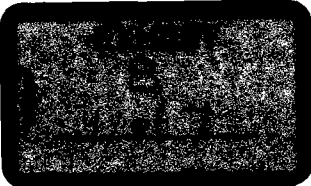


THE PRESERVE APARTMENTS

Project	BE0810
Date	06/19/08
Drawn	DCF,CAK
Checked	EJS
Revised	
	08/11/08



BUILDING TYPE BB



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**SMOOK
DESIGN
GROUP**

ARCHITECTURE

1000 E. SHAWNEE BLVD., SUITE 110
DENVER, COLORADO 80202
303.733.0000 303.733.0001

EXTERIOR
ELEVATIONS

THE PRESERVE APARTMENTS

Project	BE0810
Date	06/19/08
Drawn	DCF, CAK
Checked	EJS
Revised	
	08/11/08

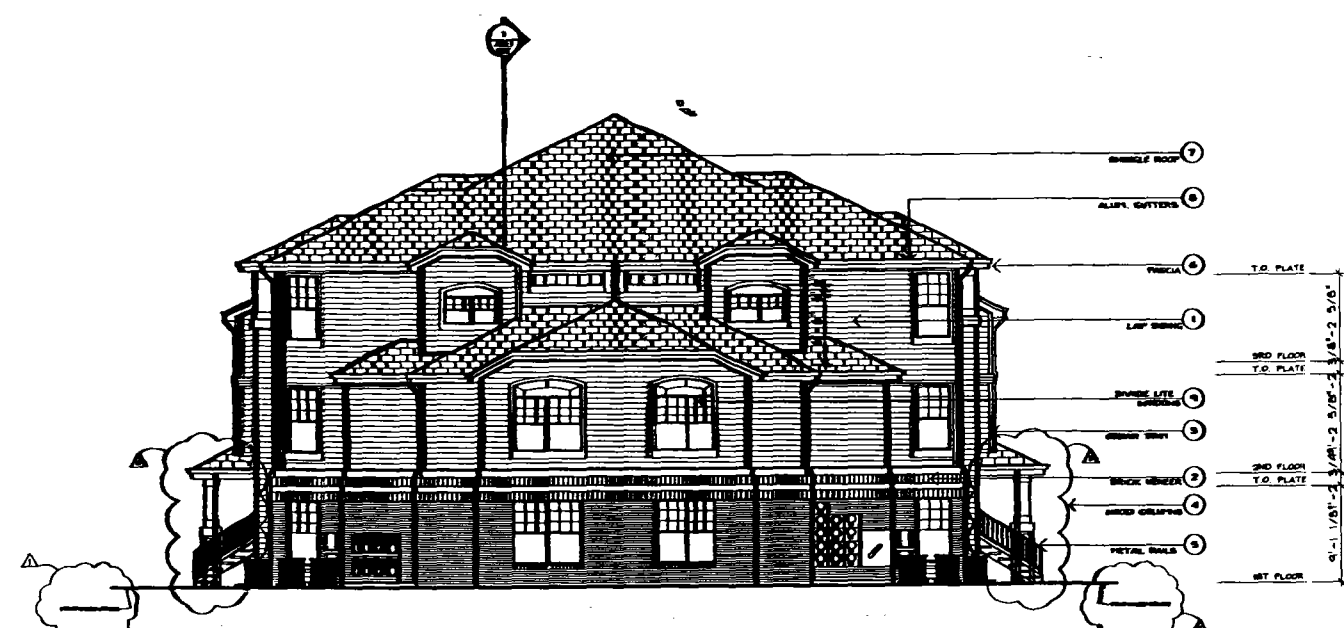
sheet
60 of 179

A4.1-BT

TYPICAL EXTERIOR MATERIALS:	
1. SHINGLE	VERTICAL SHINGLE, 1/2" x 12" x 12"
2. SHINGLE	SHINGLE, 1/2" x 12" x 12"
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FRONT ELEVATION
SCALE: 1/8" = 1'-0"

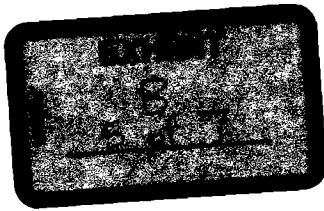


SIDE ELEVATION
SCALE: 1/8" = 1'-0"



PARTIAL ELEVATION AT SPRINKLER RISER
ROOM/DOMESTIC WATER SERVICE ROOM
SCALE: 1/8" = 1'-0"
SEE SITE PLAN FOR LOCATIONS

BUILDING TYPE BT



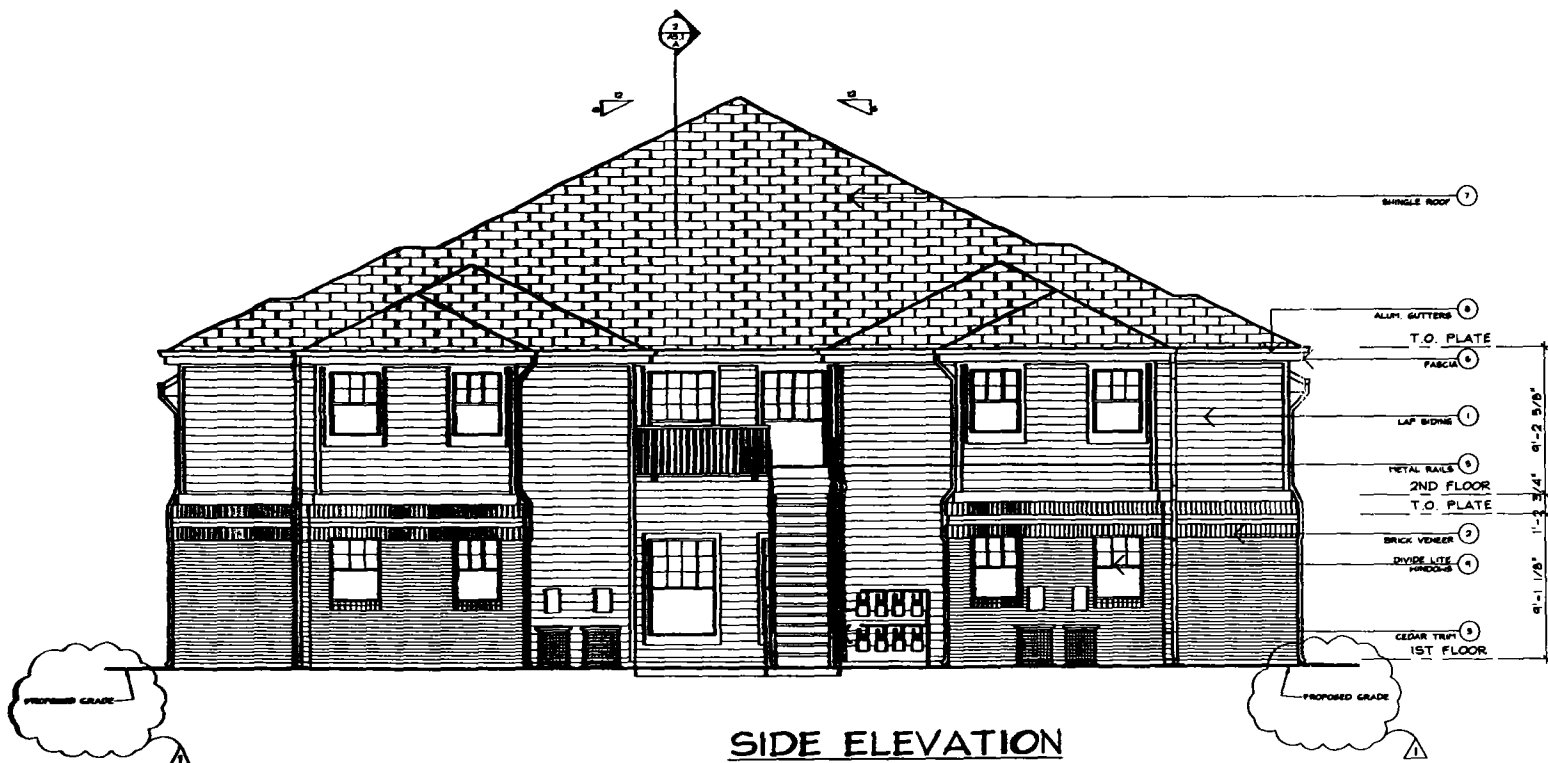
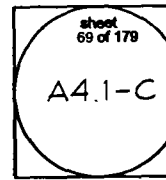
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

TYPICAL EXTERIOR MATERIALS:	
1- SIDING	TEXTURED HARDBOARD LAP, 4" MAX. EXPOSURE/PANT
2- BRICK	RUNNING BOND HYDRON-LOCK'S COURSE/SHOULDER BAND
3- TRIM	2X OR 1X CEDAR AS SHOWN AND DETAILED ON ELEVATIONS AND TYPICAL PROJECT DETAILS. SEE SHT. A4.1 FOR TRIM AT WINDOWS AND DOORS. SEE DETAILS 7, 8, SHEET A4.1 FOR CORNER BOARD DETAILS. ALL TRIM SHALL BE PAINTED.
4- WOOD COLUMNS	ALL WOOD COLUMNS AT PORCHES SHALL BE MASONRY VENEER WITH 1X5 BANDS. SEE DETAIL 1, 4, 5 SHEET A4.1.
5- PORCH RAILS	2" SQUARE STEEL TUBE TOP & BOTTOM WITH 1" SQUARE STEEL BALUSTERS @ 4'-0" O.C. SEE DETAIL 2 SHEET A4.1.
6- FASCIA	5/8" WOODBOARD/PANT. SEE SHEET A4.1.
7- ROOFING	HEAVYWEIGHT FIBERGLASS CLASS A SHINGLES. PROVIDE ONLY ROOF VENTS AT ALL LOCATIONS SHOWN ON ROOF PLANS-SEE SHEET A4.1 FOR DETAILS.
8- GUTTER & DOWNSPOUT	PROVIDE COMPLETE ALUM. GUTTER AND DOWNSPOUT SYSTEM AT ALL EAVE LOCATIONS. ALL GUTTERS AND DOWNSPOUTS SHALL BE PAINTED.
9- WINDOWS AND DOORS	SEE BUILDING ELEVATIONS AND SHEET A4.1 FOR SCHEDULES



THE PRESERVE APARTMENTS

Project	BE0810
Date	06/19/08
Drawn	DCF, CAK
Checked	EJS
Revised	
	08/11/08

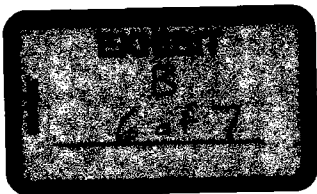


SIDE ELEVATION
SCALE: 3/16" = 1'-0"

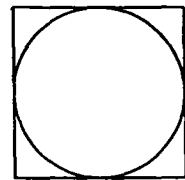


PARTIAL ELEVATION AT SPRINKLER RISER
ROOM/DOMESTIC WATER SERVICE ROOM
SCALE: 3/16" = 1'-0"
SEE SITE PLAN FOR LOCATIONS

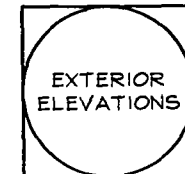
BUILDING TYPE C



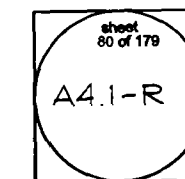
TYPICAL RENTAL / REC. CENTER EXTERIOR MATERIALS:	
1- SIDING	TEXTURED HARDBOARD LAP, 4" EXPOSURE / PAINT.
2- BRICK	RUNNING BOND W/ BANDS, GLAZES, AND BASKET WEAVE LOCATIONS -- SEE ELEVATIONS AND DETAILS.
3- TRIM	2X OR 5/4X CEDAR AS SHOWN AND DETAILED ON ELEVATIONS AND TYPICAL PROJECT DETAILS. SEE SMT. PS FOR TRIM AT WINDOWS AND DOORS. SEE SMT. PS FOR CORNER BOARD DETAILS. ALL TRIM SHALL BE PAINTED.
4- BRICK COLUMNS	ALL EXTERIOR COLUMNS SHALL BE BRICK VENEER SEE SHEET R6.4 FOR COLUMNS AT ENTRY.
5- GARDEN WALLS	RUNNING BOND W/ ROWLOCK CAP / TYP.
6- FASCIA	1X12 HARDBOARD / PAINT. SEE SHEET R6.2.
7- ROOFING	HEAVYWEIGHT FIBERGLASS CLASS A SHINGLES. PROVIDE 12X12 ROOF VENTS AND 6X6 SOFFIT VENTS AT ALL LOCATIONS SHOWN ON ROOF PLAN.
8- GUTTER & DOWNSPOUT	PROVIDE COMPLETE ALUM. GUTTER AND DOWNSPOUT SYSTEM AT ALL EAVE LOCATIONS. ALL GUTTERS AND DOWNSPOUTS SHALL BE PAINTED.
9- WINDOWS AND DOORS	SEE BUILDING ELEVATIONS AND SHEET R6.1 FOR SCHEDULES.

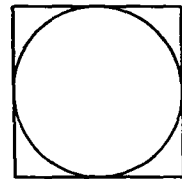
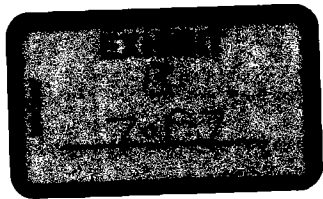


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Project	BE0810
Date	06/19/08
Drawn	DCF, CAK
Checked	EJS
Revised	
	08/11/08





Notes: The Contractor, Owner or any other user of these documents shall verify the accuracy of any errors, omissions or discrepancies found within these documents. Failure to do so shall release the architect of responsibility for the resulting consequences. Reproduction or use of these documents without the Architect's consent is prohibited.

SMOOK DESIGN GROUP
ARCHITECTURE
1000 E. MAIN STREET, SUITE 100
DENVER, COLORADO 80202
303.733.1000

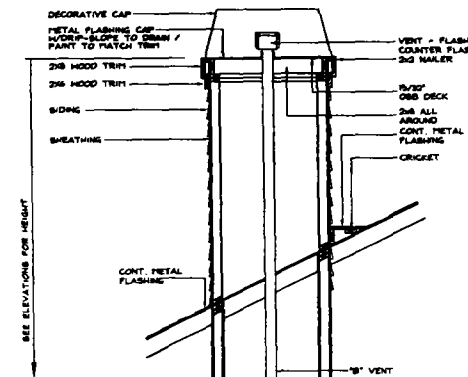
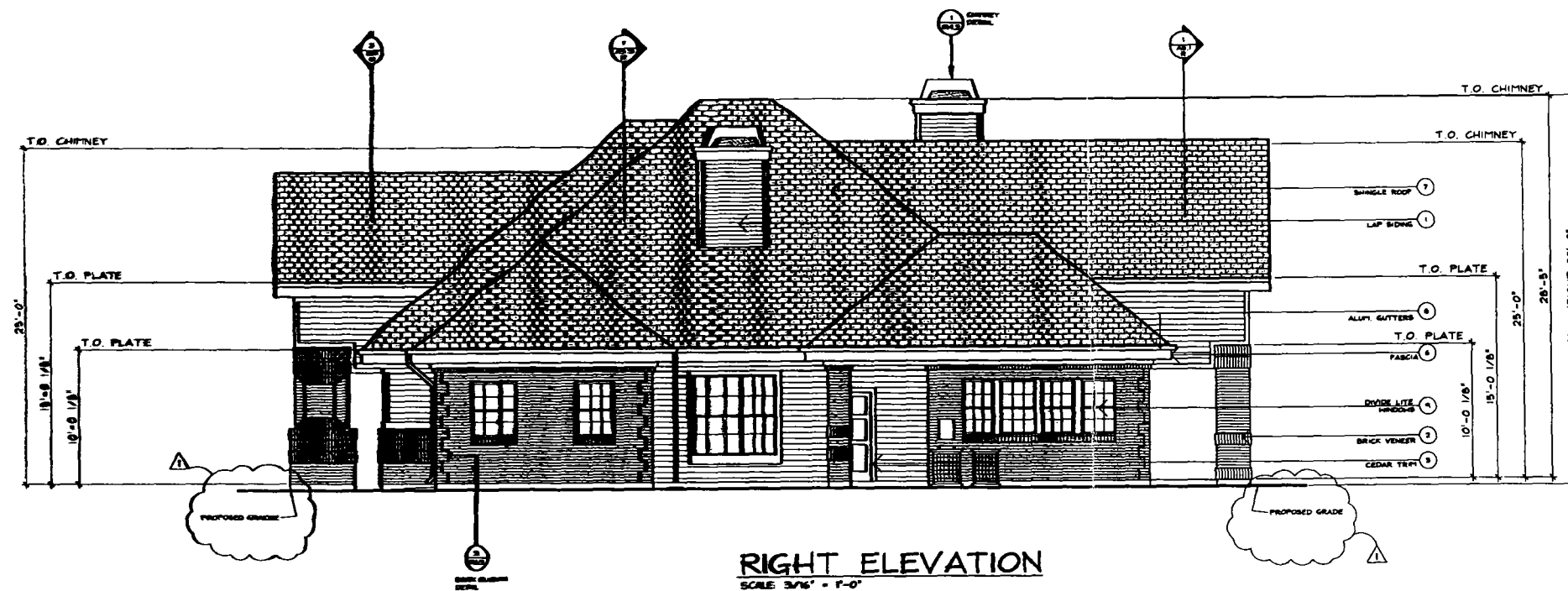
EXTERIOR ELEVATIONS

THE PRESERVE APARTMENTS

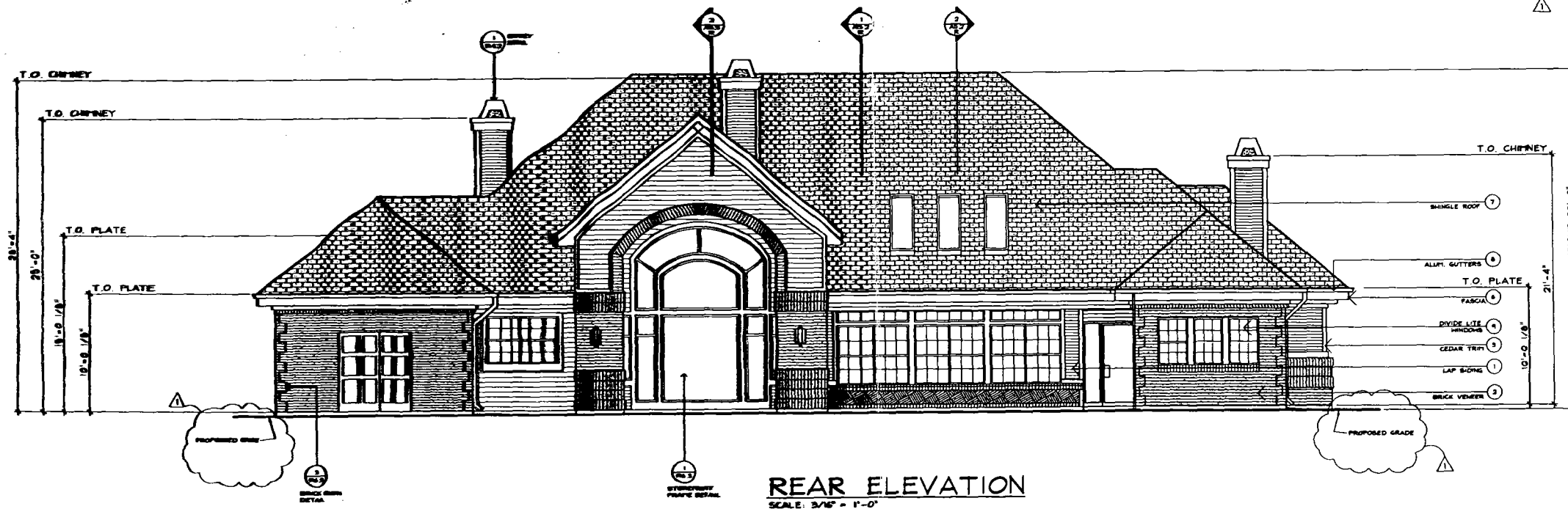
Project: BE0810
Date: 06/19/08
Drawn: DCF, CAK
Checked: EJS
Revised: 08/11/08

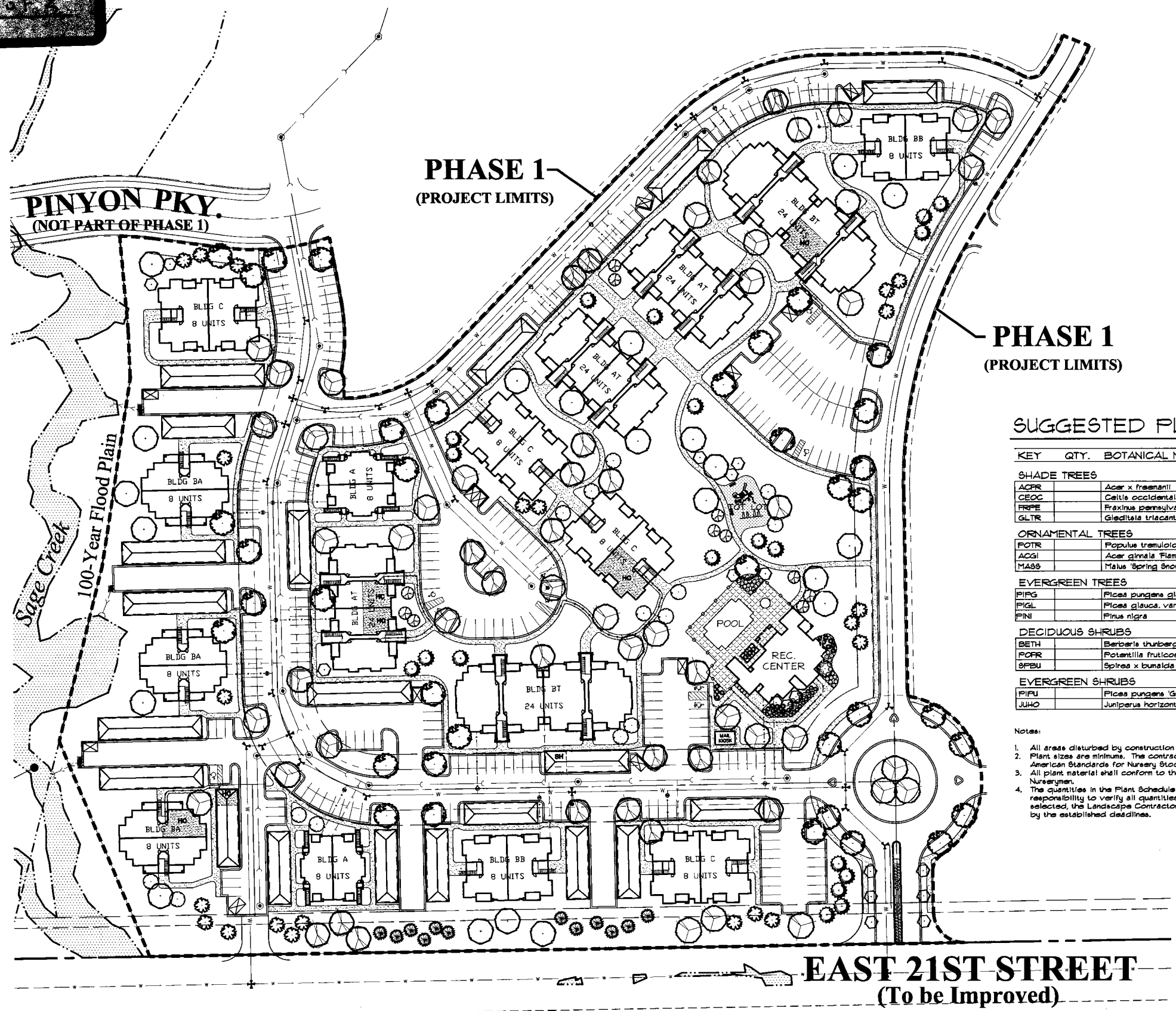
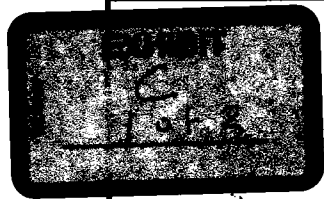
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A4.2-R

TYPICAL RENTAL / REC. CENTER EXTERIOR MATERIALS:	
1- SIDING	TEXTURED HARDIBOARD LAP, 4" EXPOSURE / PAINT.
2- BRICK	RUNNING BOND W/ BANDS, GUTTERS, AND BASKET WEAVE LOCATIONS -- SEE ELEVATIONS AND DETAILS.
3- TRIM	2X OR 5/4X CEDAR AS SHOWN AND DETAILED ON ELEVATIONS AND TYPICAL PROJECT DETAILS. SEE SHT. PS FOR TRIM AT WINDOWS AND DOORS. SEE SHT. PS FOR CORNER BOARD DETAILS. ALL TRIM SHALL BE PAINTED.
4- BRICK COLUMNS	ALL EXTERIOR COLUMNS SHALL BE BRICK VENEER. SEE SHEET R6.4 FOR COLUMNS AT ENTRY.
5- GARDEN WALLS	RUNNING BOND W/ ROWLOCK CAP / TYP.
6- FASCIAS	1X12 HARDIBOARD / PAINT. SEE SHEET R6.2
7- ROOFING	HEAVYWEIGHT FIBERGLASS CLASS A SHINGLES. PROVIDE 12X12 ROOF VENTS AND 6X16 SOFFIT VENTS AT ALL LOCATIONS SHOWN ON ROOF PLAN.
8- GUTTER & DOWNSPOUT	PROVIDE COMPLETE ALUM. GUTTER AND DOWNSPOUT SYSTEM AT ALL EAVE LOCATIONS. ALL GUTTERS AND DOWNSPOUTS SHALL BE PAINTED.
9- WINDOWS AND DOORS	SEE BUILDING ELEVATIONS AND SHEET A6.1 FOR SCHEDULES.



SECTION AT
SIDED CHIMNEY
3/8" = 1'-0"
INSTALLATION AND CLEARANCES SHALL BE
IN STRICT CONFORMANCE WITH FIREPLACE
MANUFACTURER'S SPECIFICATIONS AND
REQUIREMENTS





LEGEND

- DECIDUOUS TREES
- EVERGREEN TREES
- ORNAMENTAL TREES
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS
- FENCING
- FIBAR MULCH

PHASE 1
(PROJECT LIMITS)

SUGGESTED PLANT PALETTE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHADE TREES					
ACFR		Acer x freemanii	Autumn Blaze Maple	25" cal.	
CEOC		Celtis occidentalis	Hackberry	25" cal.	
FRPE		Fraxinus pennsylvanica	Green Ash	25" cal.	
GLTR		Gleditsia triacanthos var. inermis 'Skyline'	Skyline Honeylocust	25" cal.	
ORNAMENTAL TREES					
POTR		Populus tremuloides	Quaking Aspen	2" cal.	
ACGI		Acer glabrum 'Flame'	Amur Maple	2" cal.	
MASS		Malus 'Spring Snow'	Spring Snow Crabapple	2" cal.	
EVERGREEN TREES					
PIPG		Picea pungens glauca	Colorado Blue Spruce	6' min	
PIGL		Picea glauca, var. densata	Black Hills Spruce	6' min	
FINI		Pinus nigra	Austrian Pine	6' min	
DECIDUOUS SHRUBS					
BETH		Berberis thunbergii atropurpurea nana	Crimson Pygmy Barberry	5 gal.	
POFR		Potentilla fruticosa 'Goldfinger'	Goldfinger Potentilla	5 gal.	
SFBU		Spiraea x bumalda 'Goldflame'	Goldflame Spiraea	5 gal.	
EVERGREEN SHRUBS					
PIPU		Picea pungens 'Globose'	Globe Blue Spruce	5 gal.	
JUHO		Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	

- Notes:
- All areas disturbed by construction shall be graded to finish grade with topsoil and sodded.
 - Plant sizes are minimums. The contractor shall meet all size requirements listed. Container sizes shall conform to the requirements set by the American Standards for Nursery Stock.
 - All plant material shall conform to the latest edition of American Standard for Nursery Stock published by The American Association of Nurserymen.
 - The quantities in the Plant Schedule are provided to the Landscape Contractor as a convenience. It is the Landscape Contractor's responsibility to verify all quantities and availability of plants and materials shown on the plan and schedule prior to submitting a bid. If selected, the Landscape Contractor shall make provisions necessary to have the necessary material to complete the landscape installation by the established deadlines.

CAUTION
UTILITIES EXIST WITHIN CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THEIR LOCATION PRIOR TO CONSTRUCTION.

LANDSCAPE PLAN
SCALE: 1"=50'

GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

Manhard CONSULTING
7400 South Valley View, Suite 100A, Colorado Springs, CO 80912, (303) 591-0000
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

THE PRESERVE AT GREENWAY PARK
CASPER, WYOMING
PRELIMINARY LANDSCAPE PLAN

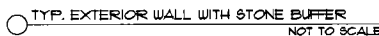
PROJ. NO. 070844
PROJ. ASSOC. JSH
DRAWN BY JSH
DATE 04/29/09
SCALE 1" = 50'

SHEET
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BRCW 070844
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PENDING APPROVAL - NOT FOR CONSTRUCTION



PLAY GROUND EQUIPMENT IS TO BE DESIGNED BY OTHERS AND INSTALLED PER MANUFACTURERS SPECIFICATIONS. CURRENT DESIGN BY RECREATION PLUS, LTD., GOLDEN, COLORADO - 800278.1455. FINAL DESIGN TO BE APPROVED BY OWNER/ OWNER REPRESENTATIVE.



NOTES:

1. DUMPSTER SIZE AND CLEARANCE TO BE VERIFIED WITH LOCAL TRASH COMPANY.
2. TO BE SUPPLIED BY CERTAINTED, BUFFTECH, IMPERIAL, 6" VINYL PRIVACY FENCING.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
4. FENCE TO BE WHITE IN COLOR.
5. SIDE ACCESS TO MEET FAIR HOUSING ACCESSIBILITY GUIDELINES (FHAG) WHERE INDICATED.



NOTES:

1. DUMPSTER SIZE AND CLEARANCE TO BE VERIFIED WITH LOCAL TRASH COMPANY.
2. TO BE SUPPLIED BY CERTAINTED, BUFFTECH, IMPERIAL, 6" VINYL PRIVACY FENCING.
3. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
4. PENCE TO BE WHITE IN COLOR.
5. SIDE ACCESS TO MEET FAIR HOUSING ACCESSIBILITY GUIDELINES (FHAG) WHERE INDICATED.



DOUBLE TRASH ENCLOSURE

NOT TO SCALE

This file also contains the following:

- Drainage Study The Preserve Apartments at Greenway Park prepared July 31, 2009 by Manhard Consulting.
- Sanitary Sewer Report The Preserve at Greenway Park- Phase I prepared July 29, 2009 by Manhard Consulting.
- Water Report The Preserve at Greenway Park- Phase I prepared July 10, 2009 by Manhard Consulting.

Supporting documents for this file are being maintained in the Community Development Department.